

HP PERMIT NUMBER: HP-0711-2025

PROPERTY ADDRESS: 808 North Cheyenne Avenue

DISTRICT: BRADY HEIGHTS / THE HEIGHTS

APPLICANT: Tom Neal

REPRESENTATIVE: N/A

A. CASE ITEMS FOR CONSIDERATION

1. Construction of residence

B. BACKGROUND

DATE OF CONSTRUCTION: N/A

ZONED HISTORIC PRESERVATION: 1999

NATIONAL REGISTER LISTING: BRADY HEIGHTS HISTORIC DISTRICT, 1980

CONTRIBUTING STRUCTURE: N/A

STYLE/CONSTRUCTION: NR Description:

PREVIOUS ACTIONS: None

B. ISSUES AND CONSIDERATIONS

1. The applicant proposes the construction of a two-story residence with a hipped roof. The front façade would have a dormer at the center of the roof, a covered front porch with four posts, a door with side lights and ten hung windows. The proposed siding is LP Smart side with a smooth finish and a 6" reveal. Proposed windows are double hung, 1 over 1, and would be wood or aluminum clad wood with the dark bronze exterior finish. Per feedback from the October 9, 2025 meeting the applicant advised that the porch was widened to avoid obscuring the windows on the front façade, as well as increasing the column size, adding tapered detail to the columns, a Craftsman style window trim detail (as noted in the updated elevation drawings), and updated the window specifications to a one over one style due to budgetary constraints, but is still consistent with other similar homes in the neighborhood.

The applicant also added that they intend on adding a mail slot to match the door hardware instead of the previously discussed mailbox in the custom fabricated door sidelights.

At the October 30, 2025, meeting, the subcommittee recommended approval with the condition that the updated window trim detail on the sides be updated to match the front and that the "Barn Light" be removed from the packet.

Cited Guidelines: All of section C1.

2. Reference: *Tulsa Zoning Code*

SECTION 70.070-F Standards and Review Criteria

In its review of HP permit applications, the preservation commission must use the adopted design guidelines to evaluate the proposed work and must, to the greatest extent possible, strive to affect a fair balance between the purposes and intent of HP district regulations and the desires and need of the property owner. In addition, the preservation commission must consider the following specific factors:

1. The degree to which the proposed work is consistent with the applicable design guidelines;

2. The degree to which the proposed work would destroy or alter all or part of the historic resource;
 3. The degree to which the proposed work would serve to isolate the historic resource from its surroundings, or introduce visual elements that are out of character with the historic resource and its setting, or that would adversely affect the physical integrity of the resource;
 4. The degree to which the proposed work is compatible with the significant characteristics of the historic resource; and
 5. The purposes and intent of the HP district regulations and this zoning code.
3. Reference: *Unified Design Guidelines – Residential Structures*
- SECTION A – GUIDELINES FOR REHABILITATION OF EXISTING STRUCTURES**

A.1 General Requirements

- A.1.1 Retain and preserve the existing historic architectural elements of your home.
- A.1.2 If replacement of historic architectural elements is necessary, match the size, shape, pattern, texture, and directional orientation of the original historic elements.
- A.1.3 Ensure that work is consistent with the architectural style and period details of your home.
- A.1.4 Return the structure to its original historic appearance using physical or pictorial evidence, rather than conjectural designs.

C.1 General Requirements

- C.1.1 Designs for new construction shall not duplicate existing structures within the district. Ensure that each new structure is unique within the district.
- C.1.2 When designing new structures, provide consistency and continuity by drawing upon common characteristics of historic structures in the district, placing particular emphasis on the historic structures on the same street. These include but are not limited to porches, entries, roof pitch and form, and window and door styles.
- C.1.3 Avoid mixing incongruous architectural styles: for example, Prairie-style windows on a Colonial Revival-inspired house.
- C.1.4 Respect the scale, proportions, historic patterns, and relationships of both principal and accessory structures along the same street and within the district.
- C.1.5 Maintain the established height of those structures along the same side of the street.
- C.1.6 Establish the height of the floor (finished floor elevation) between the minimum and maximum finished floor elevation of those structures along the same side of the street.

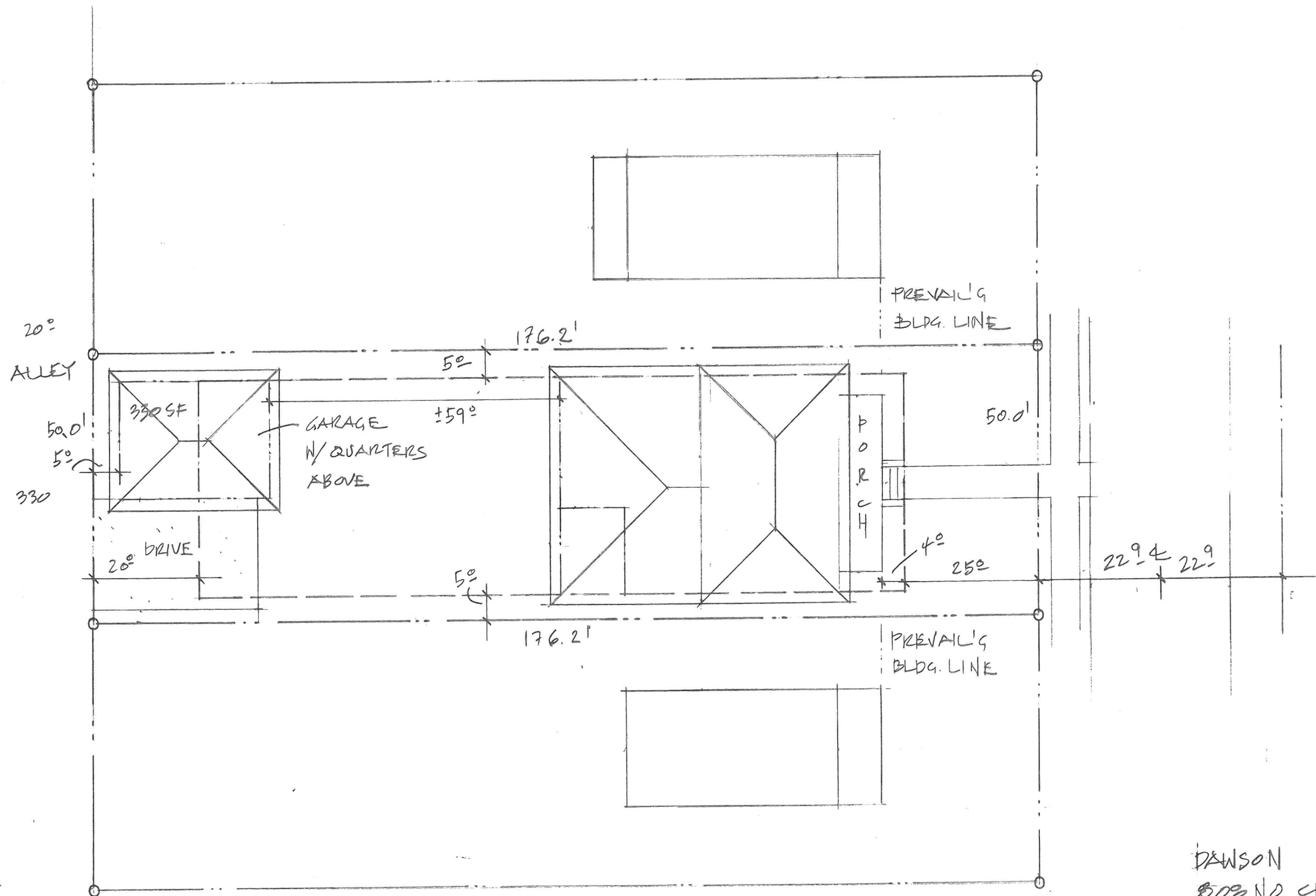
C.2 Building Site

- C.2.1 Match the front setback of the historic buildings along the same side of the street. When the front setback pattern of the historic structures on the same side of the street varies, locate the new structure between the minimum and maximum of the prevailing front setbacks.
- C.2.2 Maintain the pattern and rhythm of the side yard setbacks of the other historic structures on the same side of the street.
- C.2.3 Maintain the same orientation to the street as established by the historic structures on the same street.

- C.2.4 Limit paving within the street yard to primary driveways and sidewalks. Curb cuts and new driveways through the street yard are strongly discouraged for properties with alley access.
- C.2.5 On interior lots, limit the surface area of driveways and sidewalks to no more than 50% of the street yard lot area.
- C.2.6 On corner lots, limit the surface area of driveways and sidewalks to no more than 30% of the street yard lot area.

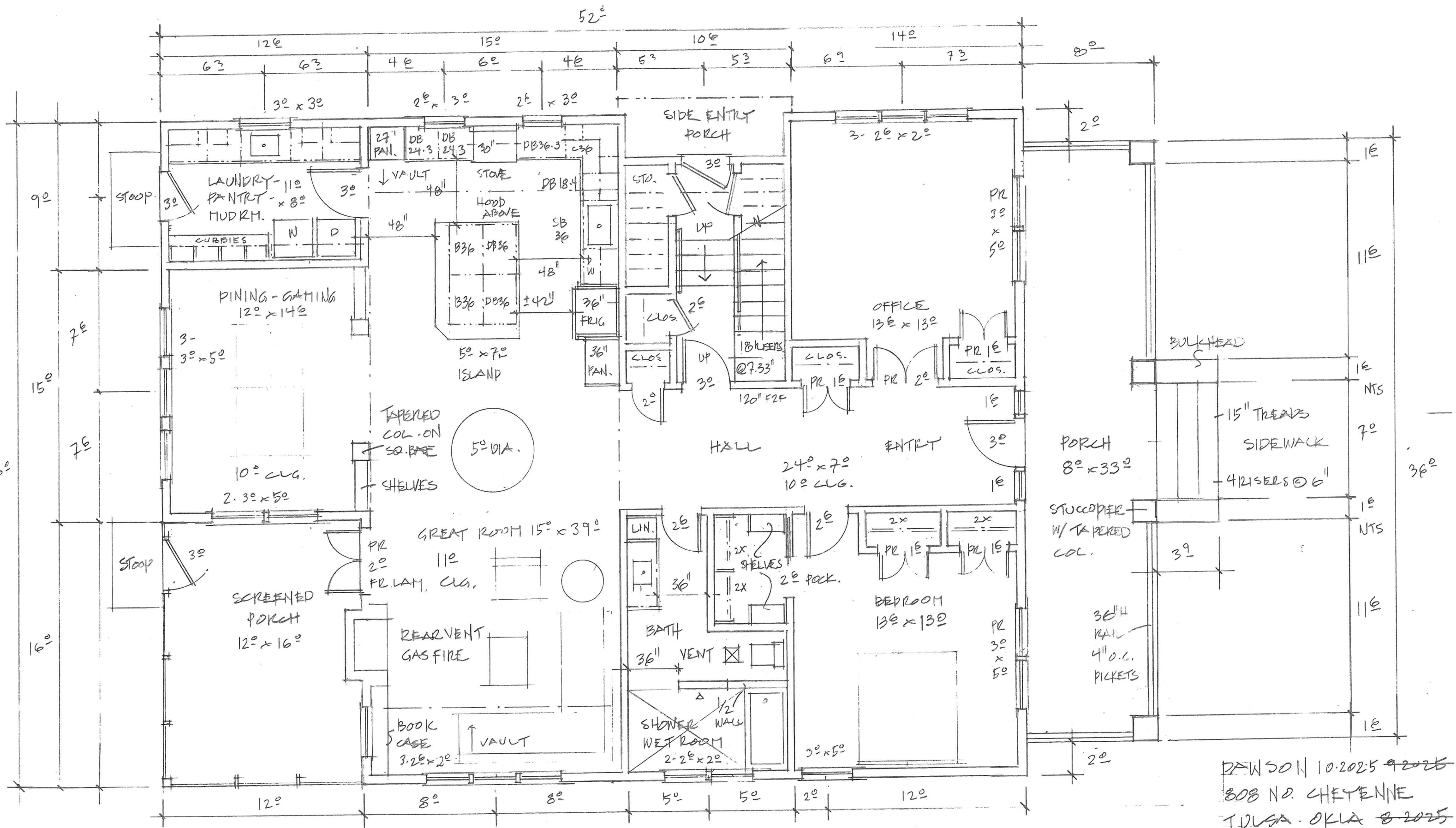
C.3 Building Materials

- C.3.1 Maintain the visual characteristics, scale, proportions, directional orientation, and rhythms that are created by the materials on existing historic structures in the district, in order to maintain the overall appearance and character of the district. Deviation from the materials on existing historic structures in the district will be considered on a case-by-case basis. The use of unfinished or clear-finished metals will be considered on a case-by-case basis.



SITE DRAINAGE PLAN 1" = 20' ↑ NORTH

DAWSON 9.2025
 808 NO. CHEYENNE
 TULSA - OKLA 8-2025
 TOM NEAL
 DESIGN
 Associate member, American Institute of Architects
 918.231.7372

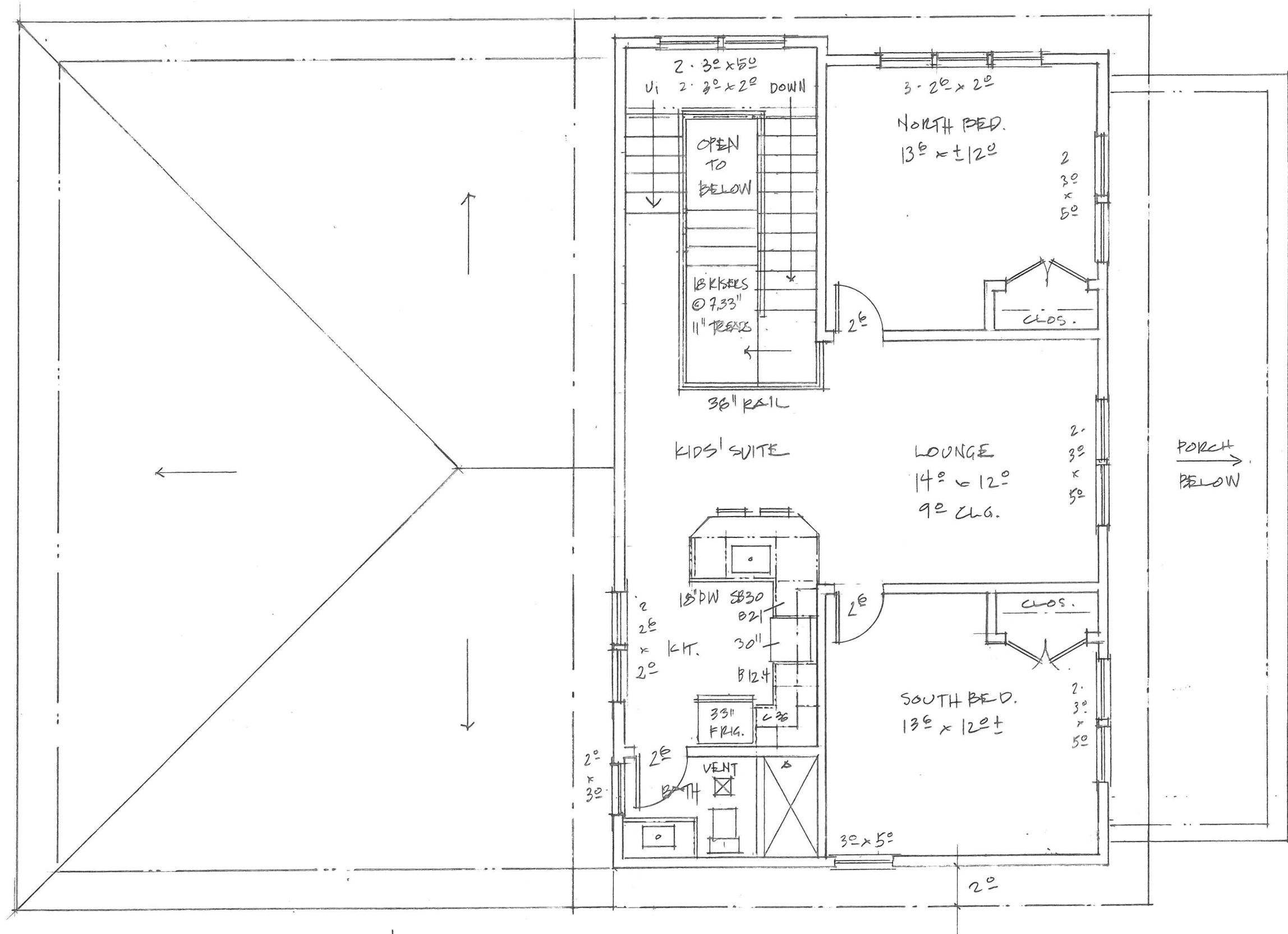


1ST FLOOR PLAN 3/16" = 1'-0" NORTH 1888 S.F. HVAC

DAWSON 10-2025 9-2025
 808 NO. CHEYENNE
 TULSA, OKLA 8-2025
 TOM NEAL
 DESIGN

Associate member, American Institute of Architects

918.231.7372



2ND FLOOR PLAN $\frac{3}{16}'' = 1'-0''$ NORTH

PAWSON 10-2025
 808 NO. CHETENNE
 TULSA OKLA 8-2025
 TOM NEAL
 DESIGN

Associate member, American Institute of Architects

918.231.7372



10-2025
 9-2025
 DAWSON
 808 N. CHEYENNE
 TULSA-OKLA 8-2025
 TOM NEAL
 DESIGN
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 918.231.7372



NORTH 3/16" = 1'-0"

PAWSON 11.2025
 808 N. CHETENNE 9.2025
 TULSA-OKLA 8.2025

TOM NEAL
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 Associate member, American Institute of Architects
 918,231,7372

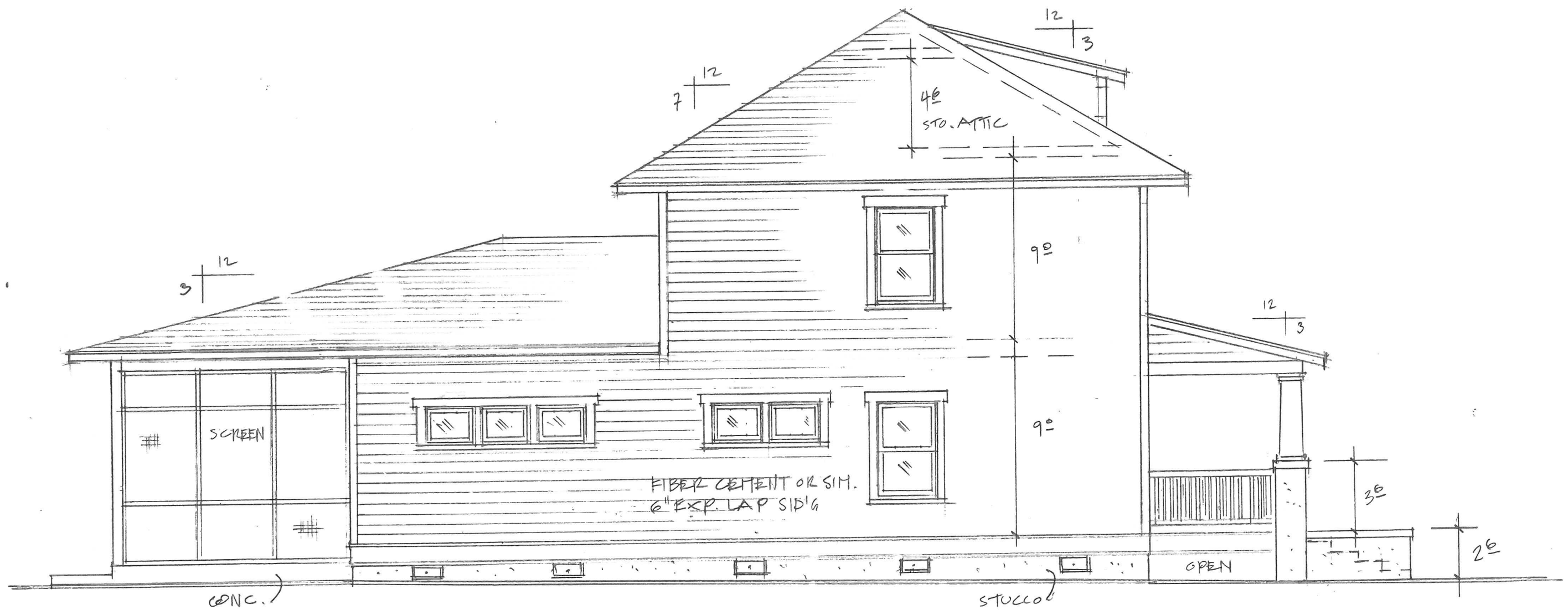


WEST $\frac{3}{16}'' = 1'-0''$

11-2025
~~10-2025~~
 DAWSON
 BOB NO. CHEYENNE
 TULSA, OKLA 8-2025
 TOM NEAL
 DESIGN

Associate member, American Institute of Architects

918.231.7372



SOUTH $\frac{3}{16}'' = 1'-0''$

11.20.25
~~10.20.25~~
~~9.20.25~~
 DAWSON
 808 NO. CHEYENNE
 TULSA, OKLA 8.20.25
 TOM NEAL
 DESIGN
 Associate member, American Institute of Architects
 918.231.7372

Heights Historic Preservation District – Exterior Spec Package

Siding

- Manufacturer: LP SmartSide
- Profile: Lap siding, smooth finish
- Exposure: 6" reveal
- Material: Engineered wood, factory-primed for paint
- Trim: LP SmartSide smooth trim, 4–6" nominal widths
- Finish: Field-painted

LP® SmartSide® 3/8 x 6 x 16' Brushed Smooth Engineered Wood Lap Siding

(Actual size: 0.354" x 5.84" x 16')



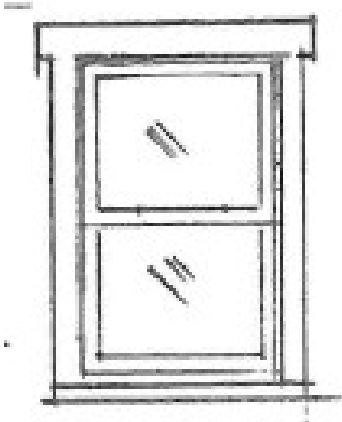
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Specifications

Actual Length	16 foot
Actual Thickness	0.354
Actual Width	5.84 inch
Color	Primed
Coverage Per Piece	6.5 square foot
Exposure	4-7/8 inch
Features	Rot Resistant, Termite Resistant, Impact Resistant, Factory Primed
Manufacturer Warranty	50 year
Material	Engineered Wood Strand
Nominal Length	16 foot
Nominal Thickness	3/8 inch
Nominal Width	6
Product Type	Engineered Wood Lap Siding
Shipping Dimensions	192.00 H x 5.84 W x 0.35 D
Shipping Weight	9.9375 lbs
Siding Surface Design	Smooth

Windows

- Type: Thermal, double-hung
- Configuration: 1-over-1 Window
- Material: Wood or aluminum-clad wood
- Finish (Exterior): Dark bronze
- Glazing: Clear insulated glass, low-E allowed (no tint)
- Trim: Smooth wood or fiber cement, 4" minimum width
- See attached brochure



NOTE: Applicant updated Window specification to 1-over-1 style per Elevation drawings.



Series 700 double hung windows are a winning combination of classic design, superior materials and energy-saving technology – from a proven industry leader.

We truly believe our Series 700 double hung is America's finest window. Compare features for yourself, and we think you'll agree.

High efficiency meets high style.



At the heart of every Series 700 double hung window is our polymer **Thermal Barrier** (above). This special barrier separates the interior and exterior of the window throughout the entire frame and sash – dramatically reducing heat loss in the winter and heat gain in the summer.

"They have not only greatly improved the look of my home and condo, but they lowered the utility bills considerably."

Fritz K. – Bartlesville, OK



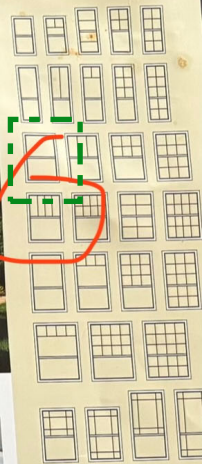
Series 700 standard features:

- Sealed ¾" insulated glass for optimum thermal efficiency
- Each sash easily and conveniently tilts inward for cleaning
- Center cam lock plus a hidden metal security lock on each sash
- Carbon steel spiral sash balances
- Deep continuous interlocks
- Full length extruded aluminum screens
- Double high-density pile weatherstripping with mylar fins to seal out wind and water



Hidden lock

Series 700 Double Hung windows feature pleasing sightlines with tilt-to-clean convenience.



Series 700 divided lites are available in the patterns shown above. Don't see what you want? Just ask your Thermal Windows representative.

Divided lite muntins are available in four different styles.

See pg. 19 for muntin options

Colors: Standard colors are white, almond, sandstone and bronze. We offer designer colors and anodized finishes for an additional cost.

See pg. 18 for color options

Glass: Many types of glass are available.

See pg. 21 for glass options



 **Thermal Windows are custom-manufactured.** Our wide selection of window types, shapes, colors, glass and divided lite patterns allows you to specify windows to suit your personal style.

Options. Plenty of options.

Color options

Our Thermal Barrier aluminum windows feature a durable, maintenance-free powder coat finish in your choice of four Standard colors (left).

Custom colors and anodized finishes (right) are available for an additional charge*.

Standard Colors

- White
- Sandstone
- Ammond
- Bronze

Custom Colors

- Black
- Dark Gray
- Crepe
- Dauphin Gray
- Bone White
- Brick Red
- Medium Bronze
- Clear Anodized (Silver Metallic)
- Dark Green

Glass options

Glass is such an important part of window selection that we have devoted an entire page to it (page 21).

*Colors shown are for general information only. It cannot be assured that actual finishes will match these examples.

Doors

- Front Door: Solid wood or fiberglass/wood composite
- Style: Craftsman or traditional panel with glass lite option

NOTE: Contractor to fabricate custom sidelights per Elevation drawings

- Finish: Painted black



THERMA-TRU

Shaker Entry Door 68-in x 80-in x 4-9/16-in Fiberglass
Craftsman Left-hand inswing Black Painted Prehung Front
Door with Sidelights with Brickmould Insulating core

Description

Item #: 4896819 | Model #: TTB640438SOS

- Engineered to last longer, Therma-Tru fiberglass doors resist dents, rust and rot
- Smooth-Star fiberglass doors feature crisp, clean contours, making them more attractive and durable to steel
- Flush-glazed glass eliminates the need for a lite frame, providing a clean, seamless appearance
- Featuring our black paint, backed by a 10-year limited finish warranty
- Composite door frame helps protect your door from moisture and rot
- Ball-bearing hinges help your door stay aligned and operating smoothly
- Durable low-maintenance fiberglass is built for long-term performance; backed by a lifetime limited warranty for peace of mind
- Pre-hung and ready to install for your convenience with options for right- and left-handed entries

●

Door Hardware

- Finish: Matte black
- Form: Simple lever
- Accessories: Hinges and locks to match finish



Kwikset SmartCode 270 Keyless Entry Electronic Touchpad Deadbolt Door Lock with Auto-Lock, Custom User Codes, Advanced Security in Matte Black Contemporary

500+ bought in past month



Front Door Locksets with Deadbolt, Black Door Handles, Combination Door Lock, Exterior Door Lever (Matte Black)...

Amazon's Choice

500+ bought in past month



Exterior Lighting

4" Led Can Light - Located in porch ceiling

•

House Numbers

- Material: Metal (bronze or dark bronze finish)

Hillman™ 6" Old World Bronze House Number 5



EVERYDAY LOW PRICE
11% REBATE*
Good through 10/5/25

\$6.99
\$0.77

PRICE
AFTER
REBATE

\$6²²each

You Save \$0.77 after Mail-In Rebate*

Number



2



3



4



6



7



8

•

Roofing / Shingles

- Type: Architectural asphalt composition shingles
- Profile: Dimensional/laminated
- Colors: Dark neutral tones (black, gray, weathered wood)
- Examples:
- -

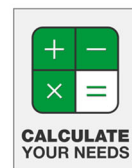
Owens Corning TruDefinition Duration
Williamsburg Gray Algae Resistant
Architectural Roof Shingles (32.8-sq ft per Bun...

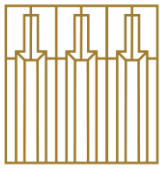
★★★★★ 34,192



Owens Corning® TruDefinition® Duration® Peppercorn Architectural Roofing Shingles (32.8 sq. ft.)

Limited Lifetime Warranty





HP PERMIT NUMBER: HP-0712-2025

PROPERTY ADDRESS: 1131 East 19th Street

DISTRICT: NORTH MAPLE RIDGE

APPLICANT: Tyler and Monica Winn

REPRESENTATIVE: N/A

A. CASE ITEMS FOR CONSIDERATION

Replacement of windows

B. BACKGROUND

DATE OF CONSTRUCTION: 1919

ZONED HISTORIC PRESERVATION: 1993; ORDINANCE AMENDMENT 2005

NATIONAL REGISTER LISTING: MAPLE RIDGE HISTORIC RESIDENTIAL DISTRICT, 1983

CONTRIBUTING STRUCTURE: No, but identified as contributing resource in 2022 resurvey of the Maple Park and Maple Ridge Additions (The Senior Patrick Malloy House)

STYLE/CONSTRUCTION: Colonial Revival

PREVIOUS ACTIONS:

COA-1994-04-14 – April 14, 1994 – TPC APPROVAL

Replace existing vinyl siding with new siding per existing conditions. Cover existing dormers with steel siding.

HP-0551-2025 – February 23rd, 2024 – TPC Approval

Installation of fence in the front yard

B. ISSUES AND CONSIDERATIONS

1. The applicant proposes the replacement of 19 builder-grade aluminum windows with vinyl grills between the glass panes. The proposed replacement windows are composite windows by Renewal by Anderson.

2. Reference: *Tulsa Zoning Code*

SECTION 70.070-F Standards and Review Criteria

In its review of HP permit applications, the preservation commission must use the adopted design guidelines to evaluate the proposed work and must, to the greatest extent possible, strive to affect a fair balance between the purposes and intent of HP district regulations and the desires and need of the property owner. In addition, the preservation commission must consider the following specific factors:

1. The degree to which the proposed work is consistent with the applicable design guidelines;
2. The degree to which the proposed work would destroy or alter all or part of the historic resource;
3. The degree to which the proposed work would serve to isolate the historic resource from its surroundings, or introduce visual elements that are out of character with the historic resource and its setting, or that would adversely affect the physical integrity of the resource;

4. The degree to which the proposed work is compatible with the significant characteristics of the historic resource; and
5. The purposes and intent of the HP district regulations and this zoning code.

3. Reference: *Unified Design Guidelines – Residential Structures*

SECTION A – GUIDELINES FOR REHABILITATION OF EXISTING STRUCTURES

A.1 General Requirements

- A.1.1 Retain and preserve the existing historic architectural elements of your home.
- A.1.2 If replacement of historic architectural elements is necessary, match the size, shape, pattern, texture, and directional orientation of the original historic elements.
- A.1.3 Ensure that work is consistent with the architectural style and period details of your home.
- A.1.4 Return the structure to its original historic appearance using physical or pictorial evidence, rather than conjectural designs.

A.4 Windows and Window Trim

- A.4.1 Retain and preserve original historic windows, including glazing, trim, muntins, and character-defining details.
- A.4.2 Do not remove, cover, or move existing window openings.
- A.4.3 To return the home to its original historic appearance, remove non-historic windows and trim. When selecting replacements, use physical or pictorial evidence. If no evidence exists, select windows which are consistent with the architectural style of your home.
- A.4.4 To gain thermal efficiency, storm windows which maintain the appearance and allow maximum visibility of the original historic windows may be installed. Unfinished and clear-finished metals are not allowed. (Storm windows can be staff approved.)
- A.4.5 If replacement of deteriorated windows is necessary, match the original historic windows in sash design, size, shape, muntin pattern, location, glazing area, and tint. Insulated glass (double-pane) windows may be used. Exterior muntins are required on simulated-divided-light windows.
 - .1 Brady Heights – Match the original historic window material.
 - .2 Elmwood – Match the original historic window material
- A.4.6 If replacement of deteriorated trim is necessary, match the appearance, size, shape, pattern, texture, and detailing of the original historic trim.
- A.4.7 When adding new window openings, maintain the proportions of the façade. Match the size, design, and pattern of the existing windows. Align the headers of new windows with the existing windows.
- A.4.8 Exterior security bars and grilles are discouraged.



1920



2000



2025

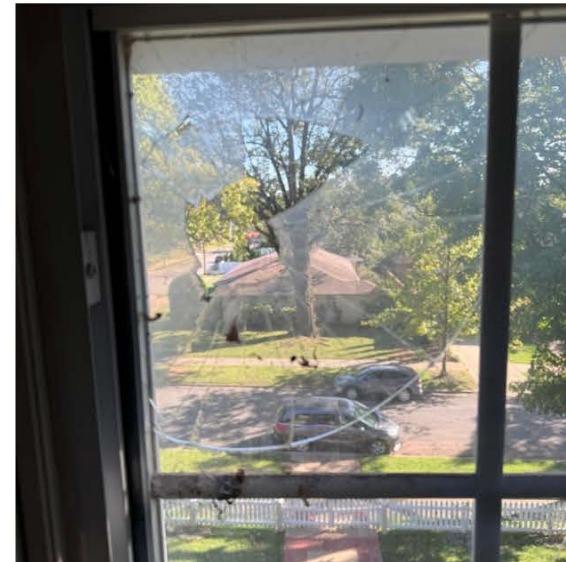
Current Exterior Condition of Windows

Damage includes cracking plastic
vinyl and broken glass and panels



Current condition of Interior Windows

Damage includes cracking
plastic vinyl and broken glass
and panels



Made from the material that outperforms all others.

All of our Acclaim™ windows are made of Fibrex® material, a revolutionary composite made from reclaimed wood fiber blended with a polymer. This gives our windows the strength and durability of wood and the low-maintenance features of vinyl, while greatly limiting thermal transmittance that can be found in other window materials such as metal.

Unlike many other window materials, Fibrex composite material won't flake, rust, blister, peel, crack, pit, or corrode.² It is also two times stronger than vinyl and resists warping and bowing. So, you'll never need to scrape or paint your Acclaim replacement windows.

ENGINEERED WITH
FIBREX®
MATERIAL

ANDERSEN
EXCLUSIVE
FEATURE

Smart Materials

Fibrex material is twice as strong as vinyl, so weathertight seals stay weathertight.

Color Choice

Our unique process fuses color to Fibrex material for long-lasting beauty. And it offers dark exterior colors not available on most other replacement windows.

Exceptional Comfort

Fibrex material blocks thermal transfer nearly 700 times better than aluminum to help reduce heating and cooling bills.

Outstanding Durability

Fibrex material retains its stability and rigidity in all climates.²

	FIBREX MATERIAL	VINYL	ALUMINUM	WOOD
Insulating Properties	✓	✓		✓
Low Maintenance	✓	✓	✓	
Resistance to Decay/Corrosion	✓	✓		
Structural Rigidity	✓		✓	✓
Durability	✓		✓	✓
Color Choices	✓			✓
Dark Color Performance	✓		✓	✓

Proposed Window Information



- Material- Wood Composite (Fiberx by Anderson)
- Muntin Configuration- Matching Original
 - Dormers- 4x2 - Upper sash Only
 - All other windows 4x3 - Upper sash Only
- Installer- Renewal by Anderson



Images of proposed windows from
Inside view

Site Plan - Before



Site Plan Front House

Proposed Windows

Custom Wood Composite Windows by
Renewal by Anderson to match original



Site Plan- After Side House





Historic Preservation Permit APPLICATION FORM

ATTACHMENT A: SUBMITTAL MATERIALS

PROJECT DESCRIPTION

Give a detailed description and justification for each repair, alteration, new construction, or demolition planned. Include description and condition of affected existing materials. Attach additional pages as needed.

We currently have builder grade aluminum windows with vinyl grills between glass that are about 25-30 yrs old. We are requesting to replace them with custom wood composite windows by Renewal by Anderson to match the homes original style of window.

PROJECT CHECKLIST

- ☒ Digital color photographs of each elevation of the site, building(s), and project area(s) provided by email or memory device only. **No external storage account invitations.**
- ☒ Product brochures, color photographs, and/or material samples when new or replacement materials are proposed.
- ☒ Site plan, no larger than 11x17, to scale with dimensions and north arrow showing location of structures and project area or landscape features in respect to building line, property line, and adjacent structures on all sides.
- ☒ Elevation sketches or renderings to scale with dimensions showing location of work required for changes on exterior walls, additions, and new construction
- ☒ Window Survey Form for proposed window repair or replacement (see **Attachment B**)

FOR ADDITIONS AND NEW CONSTRUCTION, THE FOLLOWING ARE REQUIRED IN ADDITION TO THE ABOVE:

- ☐ Site Plan, Floor Plans, and Elevations should be at a scale of 1 inch = 20 feet, or greater
- ☐ Architectural rendering (optional)
- ☐ Legal description of the property as recorded on the deed
- ☐ Location of all existing and proposed structure(s), with front and side setback distances indicated
- ☐ Percentage of slope on lot
- ☐ Location of existing and proposed retaining walls, sidewalks, and driveways with front and side setbacks indicated
- ☐ An additional site plan showing approximate height, width and front setback of proposed project and all adjacent structures to show relationship to neighborhood
- ☐ Floor plan to scale with dimensions required for additions and new construction

ATTACHMENT B: WINDOW SURVEY FORM (if applicable-see Window Repair and Replacement Guide)



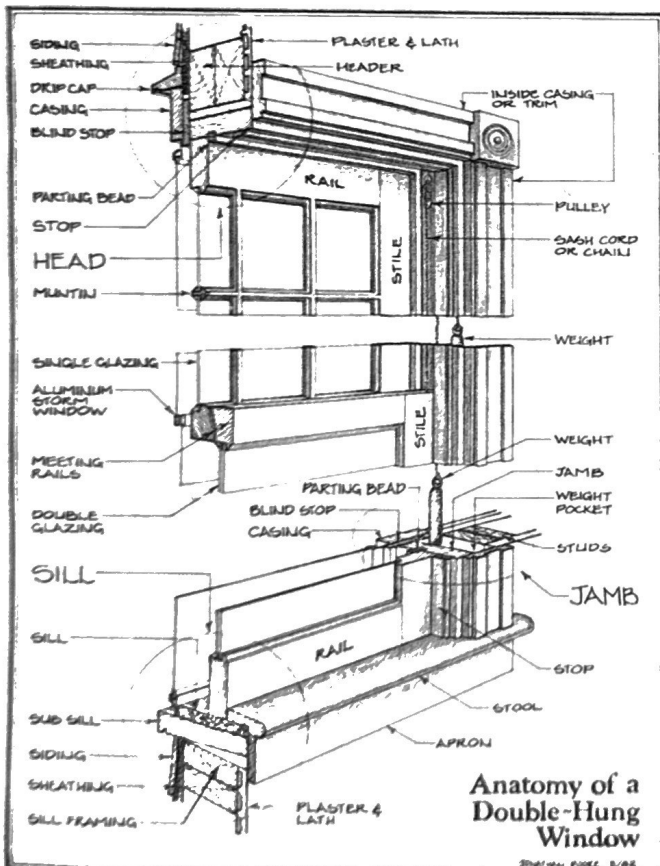
TULSA PRESERVATION COMMISSION WINDOW SURVEY FORM

COMPLETED BY: Monica Winn DATE: 10-1-25

PROPERTY ADDRESS: 1131 E 19th St., Tulsa, OK 74120

BASIC REQUIREMENTS

1. Photographs or drawings of each elevation of the structure
2. Site plan of the structure with each window opening numbered
3. Exterior photographs of each window opening numbered corresponding to the site plan
4. Interior photographs of each window opening numbered corresponding to the site plan
5. Detail photographs of problem areas of each window as necessary (numbered corresponding to site plan)
6. Condition Evaluation of each window
7. Original window design (double-hung, casement, etc...), pattern (3/1, 6/6, etc...), materials (wood, clad, etc...). Specify if different for certain openings.
8. Proposed window design (double-hung, casement, etc...), pattern (3/1, 6/6, etc...), materials (wood, clad, etc...). Specify if different for certain openings.
9. Product brochure and a picture or drawing of proposed window(s)
10. Other



The Window Survey Form should be completed when requesting a Certification of Appropriateness (COA) for window replacement. The basic requirements are needed for each window replacement; however, Planning Department Staff may require further information for an application on a case-by-case basis. This form should be completed and submitted with COA Application.

Only windows proposed for replacement should be assigned a number and described under the same number for the rest of this form. TPC does not review windows on the rear of the property if not visible from an abutting street. Windows in pairs or groupings should be assigned separate numbers. Do not include sidelights or transoms associated with a door.

Describe the issues and condition of each window proposed for replacement in detail, referring to specific parts of the windows (see diagram). Photographs of the interior and exterior are required. Additional close-up photographs, showing evidence of the window condition, must be provided to better document problem areas. Note: painted shut, broken glass, and broken sash cords are not necessary grounds for approving replacement.

WINDOW #	EXISTING TYPE	MUNTIN CONFIG.	EXISTING CONDITIONS						PROPOSED WINDOW TYPE All Double Hung	MUNTIN CONFIG. Matching Original
			REPAIR CLASS			SASH				
			SASH	FRAME	SILL	ORG.	REPLACE	UNKNOWN		
1. Dormer	Aluminum	3 x 2 Per Sash	✓	✓			✓		wood Composite	4x2 - upper sash only
2. Dormer	Aluminum	3x2 Per Sash	✓	✓			✓		wood Composite	4x2 - upper sash only
3. Dormer	Aluminum	3x2 Per Sash	✓	✓			✓		wood Composite	4x2 - upper sash only
4. Dining	Aluminum	3x2 Per Sash	✓	✓			✓		wood Composite	4x3 - upper sash only
5. Dining	Aluminum	3x2 Per Sash	✓	✓			✓		wood Composite	4x3 - upper sash only
6. Dining	Aluminum	3x2 Per Sash	✓	✓			✓		wood Composite	4x3 - upper sash only
7. Dining	Aluminum	3x2 Per Sash	✓	✓			✓		wood Composite	4x3 - upper sash only
8. Living	Aluminum	3x2 Per Sash	✓	✓			✓		wood Composite	4x3 - upper sash only
9. Living	Aluminum	3x2 Per Sash	✓	✓			✓		wood Composite	4x3 - upper sash only
10. Upper Middle	Aluminum	3x2 Per Sash	✓	✓			✓		wood Composite	4x3 - upper sash only
11. Upper Middle	Aluminum	3x2 Per Sash	✓	✓			✓		wood Composite	4x3 - upper sash only
12. Primary	Aluminum	3x2 Per Sash	✓	✓			✓		wood Composite	4x3 - upper sash only
13. Primary	Aluminum	3x2 Per Sash	✓	✓			✓		wood Composite	4x3 - upper sash only
14. Boys Room	Aluminum	3x2 Per Sash	✓	✓			✓		wood Composite	4x3 - upper sash only
15. Boys Room	Aluminum	3x2 Per Sash	✓	✓			✓		wood Composite	4x3 - upper sash only
16. Boys Room	Aluminum	3x2 Per Sash	✓	✓			✓		wood Composite	4x3 - upper sash only
17. Bathroom	Aluminum	2x2 Per Sash	✓	✓			✓		wood Composite	4x3 - upper sash only
18. Guest	Aluminum	3x2 Per Sash	✓	✓			✓		wood Composite	4x3 - upper sash only
19. Guest	Aluminum	3x2 Per Sash	✓	✓			✓		wood Composite	4x3 - upper sash only

HP PERMIT NUMBER: HP-0713-2025

PROPERTY ADDRESS: 1215 South Newport Avenue

DISTRICT: TRACY PARK

APPLICANT: Claire Fey

REPRESENTATIVE: N/A

A. CASE ITEMS FOR CONSIDERATION

1. Replacement of soffit

B. BACKGROUND

DATE OF CONSTRUCTION: 1930

ZONED HISTORIC PRESERVATION: 2023

NATIONAL REGISTER LISTING: TRACY PARK HISTORIC DISTRICT, 1982

CONTRIBUTING STRUCTURE: Yes

STYLE/CONSTRUCTION: 2-story brick Federal with elliptical arch over entrance and oversize window heads over first-floor windows, built 1923 by Matthew Steil, real estate (National Register of Historic Places nomination form, Tracy Park Historic District, 1982)

PREVIOUS ACTIONS:

HP-0467-2023 – July 1, 2023 – TPC Denial

Replacement of door

Replacement of soffit and fascia

Construction of rail

Application of limewash to the masonry

HP-0522-2023 – January 9, 2024- Withdrawn

Replacement of front door

Replacement of soffit

Construction of railing

HP-0604-2024 – July 30, 2024 – Continued/Approved

Replacement of door- Pending approval with drawing

Replacement of soffit- Continued

Construction of rail- Approved

B. ISSUES AND CONSIDERATIONS

The applicant proposes to replace the soffit with 3-inch tongue-and-groove boards. The site plan with dimensions is attached to the staff report.

2. Reference: *Tulsa Zoning Code*

SECTION 70.070-F Standards and Review Criteria

In its review of HP permit applications, the preservation commission must use the adopted design guidelines to evaluate the proposed work and must, to the greatest extent possible, strive to affect a fair balance between the purposes and intent of HP district regulations and the desires and need of the property owner. In addition, the preservation commission must consider the following specific factors:

1. The degree to which the proposed work is consistent with the applicable design guidelines;
2. The degree to which the proposed work would destroy or alter all or part of the historic resource;
3. The degree to which the proposed work would serve to isolate the historic resource from its surroundings, or introduce visual elements that are out of character with the historic resource and its setting, or that would adversely affect the physical integrity of the resource;
4. The degree to which the proposed work is compatible with the significant characteristics of the historic resource; and
5. The purposes and intent of the HP district regulations and this zoning code.

3. Reference: *Unified Design Guidelines – Residential Structures*

SECTION A – GUIDELINES FOR REHABILITATION OF EXISTING STRUCTURES

A.1 General Requirements

A.1.1 Retain and preserve the existing historic architectural elements of your home.

A.1.2 If replacement of historic architectural elements is necessary, match the size, shape, pattern, texture, and directional orientation of the original historic elements.

A.1.3 Ensure that work is consistent with the architectural style and period details of your home.

A.1.4 Return the structure to its original historic appearance using physical or pictorial evidence, rather than conjectural designs.

A.5 Roofs

A.5.1 Retain and preserve the original historic roof form (hipped, gabled, etc.) and pitch.

A.5.2 Do not remove character-defining architectural features of your roof, including, but not limited to, dormers, chimneys, cupolas, eaves, soffits, fascia boards, and decorative details, such as eave brackets, exposed rafter tails, or corbels.

A.5.3 If replacement of deteriorated architectural roof features is necessary, use materials that maintain the character of the structure and the size, shape, pattern, texture, dimensions, and directional orientation of the original historic roof features.

.1 Elmwood – Match the original historic roof material

A.5.4 To return the home to its original historic appearance, use physical or pictorial evidence. If no evidence exists, select architectural roof features which are consistent with the architectural style of your home.

A.5.5 Replacement of existing roof covering—wood shingles, asphalt shingles, clay tile, etc.—with the same material does not require HP Permit review (for example, replacing an asphalt-shingled roof with asphalt shingles). Architectural shingles are encouraged.

A.5.6 When proposing to change the materials of your roof covering, replacement materials that maintain the character of the structure and the size, shape, pattern, texture, and directional orientation of the original historic roof covering will be considered on a case-by-case basis.

.1 Yorktown – Metal roofing is not allowed.

A.5.7 When replacing your roof covering, replace an entire roof section if it is visible from



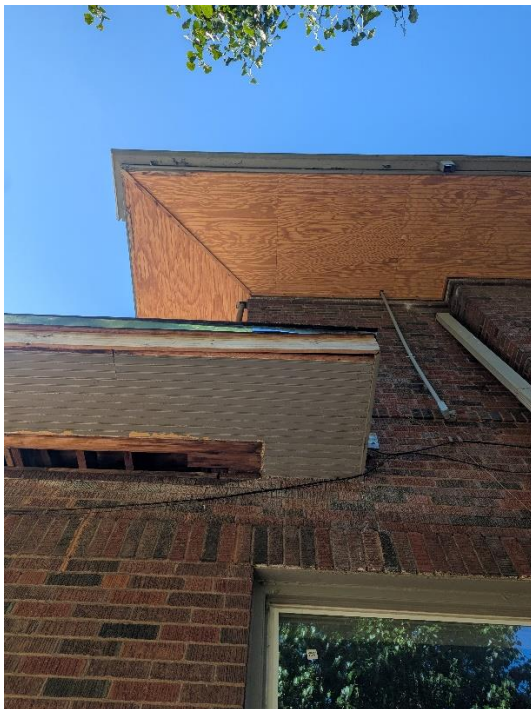
Circa 1995

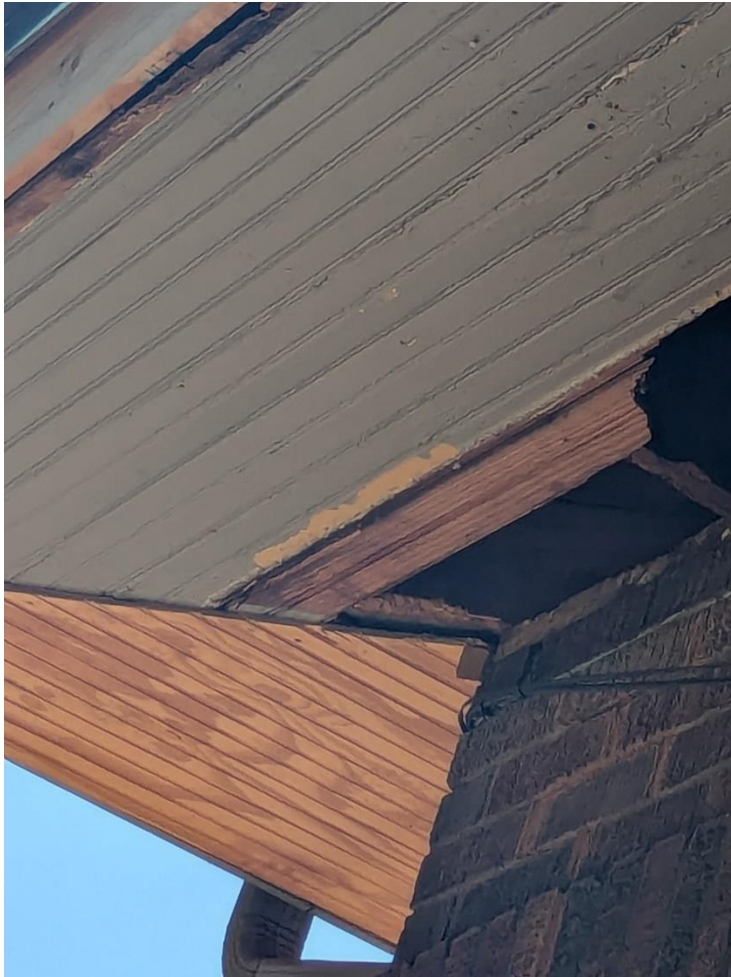


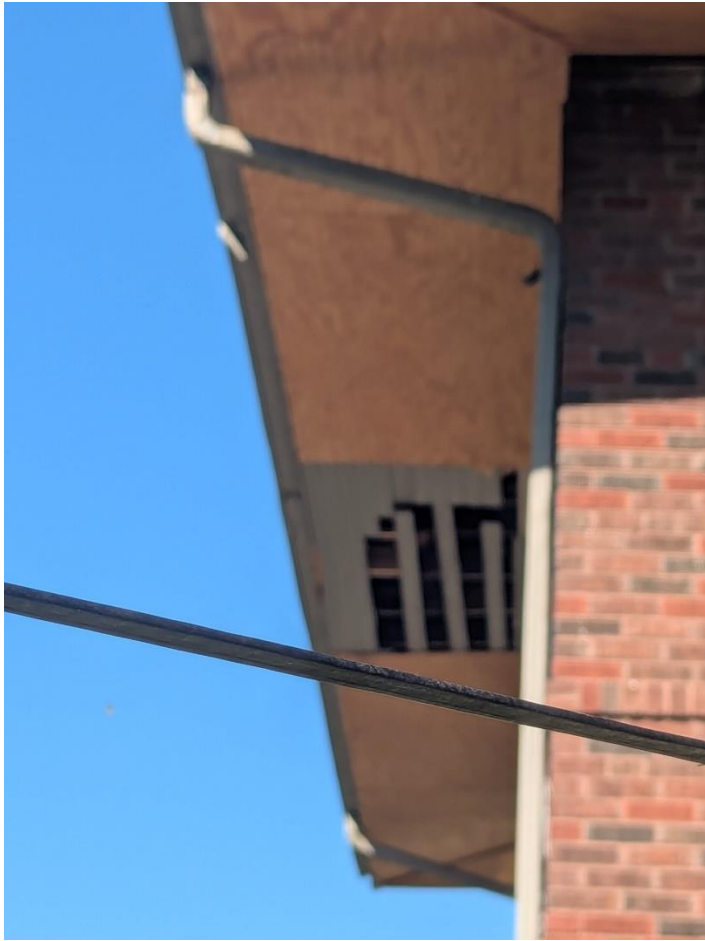
2023



2025









Historic Preservation

Permit

APPLICATION FORM

ATTACHMENT A: SUBMITTAL MATERIALS

PROJECT DESCRIPTION

Give a detailed description and justification for each repair, alteration, new construction, or demolition planned. Include description and condition of affected existing materials. Attach additional pages as needed.

SOFFITS NEED APPROVAL,

PROJECT CHECKLIST

- ☐ Digital color photographs of each elevation of the site, building(s), and project area(s) provided by email or memory device only. No external storage account invitations.
- ☐ Product brochures, color photographs, and/or material samples when new or replacement materials are proposed.
- ☐ Site plan, no larger than 11x17, to scale with dimensions and north arrow showing location of structures and project area or landscape features in respect to building line, property line, and adjacent structures on all sides.
- ☐ Elevation sketches or renderings to scale with dimensions showing location of work required for changes on exterior walls, additions, and new construction
- ☐ Window Survey Form for proposed window repair or replacement (see Attachment B)

FOR ADDITIONS AND NEW CONSTRUCTION, THE FOLLOWING ARE REQUIRED IN ADDITION TO THE ABOVE:

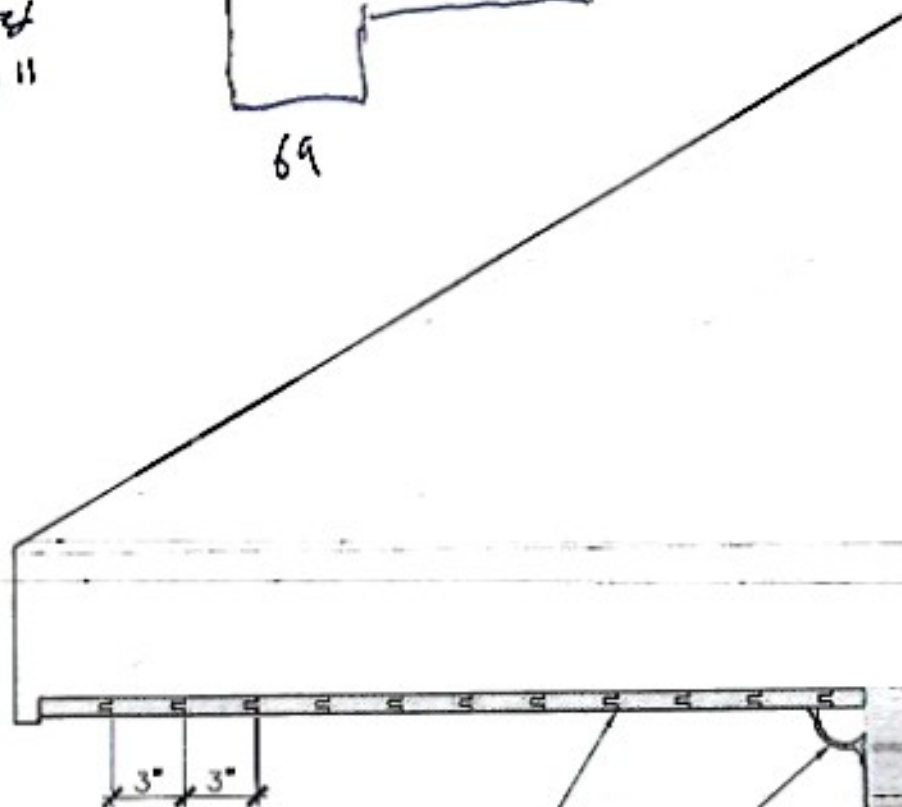
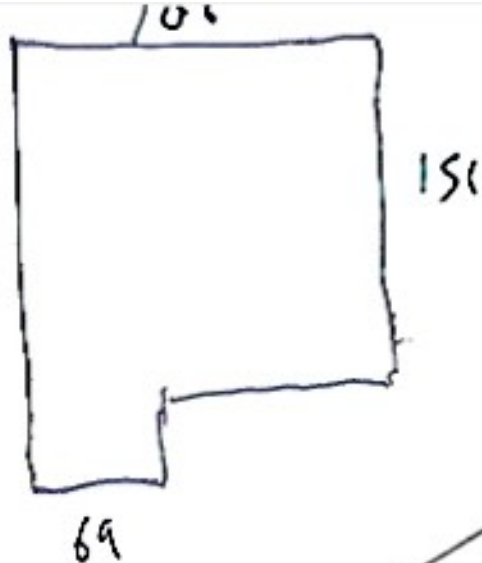
- ☐ Site Plan, Floor Plans, and Elevations should be at a scale of 1 inch = 20 feet, or greater
- ☐ Architectural rendering (optional)
- ☐ Legal description of the property as recorded on the deed
- ☐ Location of all existing and proposed structure(s), with front and side setback distances indicated
- ☐ Percentage of slope on lot
- ☐ Location of existing and proposed retaining walls, sidewalks, and driveways with front and side setbacks indicated
- ☐ An additional site plan showing approximate height, width and front setback of proposed project and all adjacent structures to show relationship to neighborhood
- ☐ Floor plan to scale with dimensions required for additions and new construction

ATTACHMENT B: [WINDOW SURVEY FORM](#) (if applicable-see [Window Repair and Replacement Guide](#))

Port 176

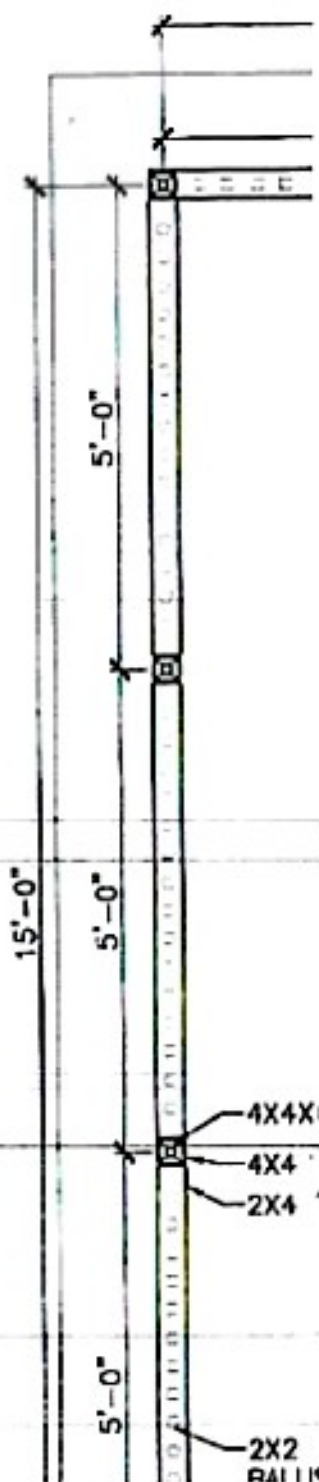
Port Soffit
2x1 x 28

Front Soffit
432 x 50 11



TRIM SOFFIT BOARDS,
INSTALLED PARALLEL TO
THE FACADE, PAINT TO
MATCH TRIM.

CORNICE MOLDING, PAINT
TO MATCH TRIM.



HP PERMIT NUMBER: HP-0714-2025

PROPERTY ADDRESS: 1910 South Lewis Avenue

DISTRICT: YORKTOWN

APPLICANT: Lori Worthington

REPRESENTATIVE:

A. CASE ITEMS FOR CONSIDERATION

1. Installation of sign

B. BACKGROUND

DATE OF CONSTRUCTION: 1970

ZONED HISTORIC PRESERVATION: 1995

NATIONAL REGISTER LISTING: YORKTOWN HISTORIC DISTRICT, 2002

CONTRIBUTING STRUCTURE: No

STYLE/CONSTRUCTION: NR Description: This two and a half story brick building has an asphalt covered, hipped roof and a brick foundation. The metal windows are fixed six over two and the metal doors are glazed paneled. The entry porch has a front gabled roof supported by brick columns. There is a clock tower next to the entry porch. Decorative details include ribbon windows, a tiled belt course at the upper of each floor and eyebrow dormers. The building is noncontributing due to insufficient age.

PREVIOUS ACTIONS: None found

B. ISSUES AND CONSIDERATION

1. The applicant proposes the installation of a sign on the brick clock tower. The sign will be on the east and south side of the brick. The sign would read "ywca". The applicant states the sign will be illuminated and mounted on a 2" deep fabricated metal panel to reduce the number of holes drilled into the brick.

2. Reference: *Tulsa Zoning Code*

SECTION 70.070-F Standards and Review Criteria

In its review of HP permit applications, the preservation commission must use the adopted design guidelines to evaluate the proposed work and must, to the greatest extent possible, strive to affect a fair balance between the purposes and intent of HP district regulations and the desires and need of the property owner. In addition, the preservation commission must consider the following specific factors:

1. The degree to which the proposed work is consistent with the applicable design guidelines;
2. The degree to which the proposed work would destroy or alter all or part of the historic resource;
3. The degree to which the proposed work would serve to isolate the historic resource from its surroundings, or introduce visual elements that are out of character with the historic resource and its setting, or that would adversely affect the physical integrity of the resource;
4. The degree to which the proposed work is compatible with the significant characteristics of the historic resource; and

5. The purposes and intent of the HP district regulations and this zoning code.

3. Reference: *Unified Design Guidelines – Residential Structures*

SECTION A – GUIDELINES FOR REHABILITATION OF EXISTING STRUCTURES

A.1 General Requirements

A.1.1 Retain and preserve the existing historic architectural elements of your home.

A.1.2 If replacement of historic architectural elements is necessary, match the size, shape, pattern, texture, and directional orientation of the original historic elements.

A.1.3 Ensure that work is consistent with the architectural style and period details of your home.

A.1.4 Return the structure to its original historic appearance using physical or pictorial evidence, rather than conjectural designs.

G.3 Signage

G.3.1 Ensure that signage is consistent in design with the historic character of the neighborhood. Construct signs of materials similar to those used for existing historic structures in the neighborhood, such as wood, stone or brick.





2025



Historic Preservation Permit APPLICATION FORM

ATTACHMENT A: SUBMITTAL MATERIALS

PROJECT DESCRIPTION

Give a detailed description and justification for each repair, alteration, new construction, or demolition planned. Include description and condition of affected existing materials. Attach additional pages as needed.

THE SIGNAGE LETTERS WILL BE INSTALLED ON THE BRICK COLUMNS THAT FACE

THE EAST AND SOUTH DIRECTIONS. THEY ARE INTERNALLY ILLUMINATED AND MOUNTED ON 2" DEEP

FABRICATED METAL PANEL TO REDUCE THE AMOUNT OF HOLES DRILLED INTO THE

BRICK STRUCTURE. THE BUILDING IS NEEDING MORE EXPOSURE TO THE PUBLIC

TO ACQUIRE MORE CLIENTS TO THEIR FACILITY.

PROJECT CHECKLIST

X Digital color photographs of each elevation of the site, building(s), and project area(s) provided by email or memory device only. **No external storage account invitations.**

NA Product brochures, color photographs, and/or material samples when new or replacement materials are proposed.

X Site plan, no larger than 11x17, to scale with dimensions and north arrow showing location of structures and project area or landscape features in respect to building line, property line, and adjacent structures on all sides.

X Elevation sketches or renderings to scale with dimensions showing location of work required for changes on exterior walls, additions, and new construction

NA Window Survey Form for proposed window repair or replacement (see **Attachment B**)

FOR ADDITIONS AND NEW CONSTRUCTION, THE FOLLOWING ARE REQUIRED IN ADDITION TO THE ABOVE:

NA Site Plan, Floor Plans, and Elevations should be at a scale of 1 inch = 20 feet, or greater

NA Architectural rendering (optional)

X Legal description of the property as recorded on the deed

X Location of all existing and proposed structure(s), with front and side setback distances indicated

NA Percentage of slope on lot

NA Location of existing and proposed retaining walls, sidewalks, and driveways with front and side setbacks indicated

NA An additional site plan showing approximate height, width and front setback of proposed project and all adjacent structures to show relationship to neighborhood

NA Floor plan to scale with dimensions required for additions and new construction

ATTACHMENT B: [WINDOW SURVEY FORM](#) (if applicable- see [Window Repair and Replacement Guide](#))



Assessor

General Information

Account Number	R49275930723300
Situs Address	1910 S LEWIS AV E TULSA 74104
Owner Name	YOUNG WOMENS CHRISTIAN ASSOC OF TULSA OKLA
Owner Mailing Address	1910 S LEWIS AVE TULSA, OK 741045708
Land Area	2.04 acres / 88,987 sq ft
Market Value	\$2,595,211
Last Year's Taxes	-
Legal Description	Subdivision: WOODWARD PARK ADDN (49275) Legal: LTS 1 - 4 & LTS 17 - 20 LESS BEG SECR LT 20 TH N50 SW50.14 E3.77 POB FOR ST & LTS 1 - 4 LESS BEG SECR LT 1 TH W5 N123.33 CRV LF ON NL E8.65 S136.33 POB BLK 11 & PRT VAC EAST 20TH ST BEG 25E SWC LT 7 TH E125 S50 W125 N50 POB Section: 07 Township: 19 Range: 13



R49275930723300 (08/2022)

Tax Information

	2023	2024	2025
Fair Cash Value	\$2,624,374	\$2,764,999	\$2,595,211
Taxable Value	\$2,285,914	\$2,400,210	\$2,520,220
Assessment Ratio			
Gross Assessed	\$0	\$0	\$0
Exemptions	\$0	\$0	\$0
Net Assessed	\$0	\$0	\$0
Tax Rate	T-1A	T-1A	T-1A
Tax Rate Mills	126.910000	129.510000	129.510000
Estimated Taxes	\$0	\$0	\$0
Notice of Value Date (if changed from prev yr)	3/29/2023	3/26/2024	3/25/2025

Values

	2023	2024	2025
Land Value	\$0	\$0	\$0
Improvement Value	\$0	\$0	\$0
Fair Cash (Market) Value	\$2,624,374	\$2,764,999	\$2,595,211

Exemptions

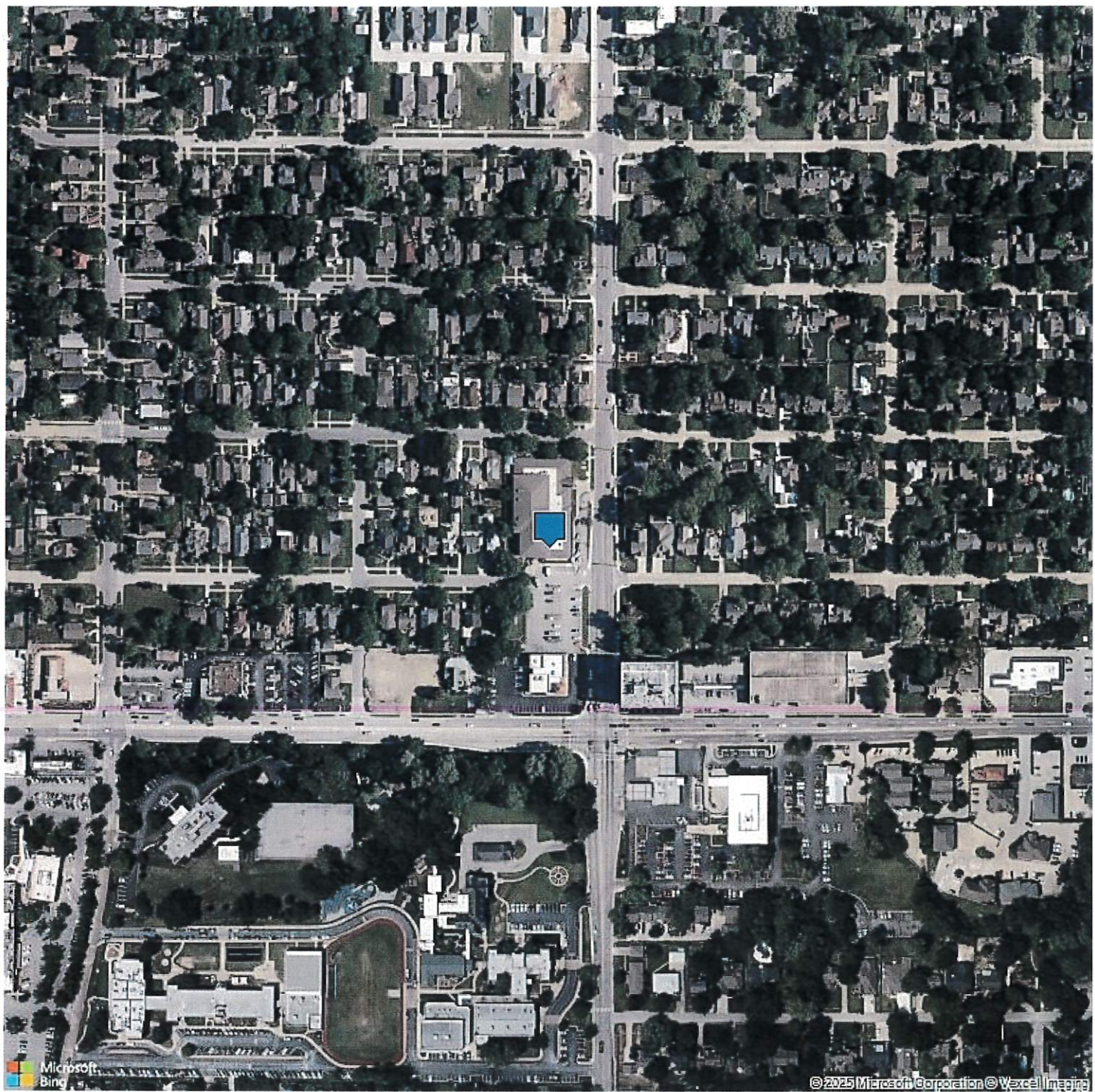
	2023	2024	2025
Homestead	-	-	-
Additional Homestead	-	-	-
Senior Valuation Freeze	-	-	-
100% Disabled Veteran	-	-	-

Current Improvements

Tax Year	Property Type	Yr Blt	Livable	Stories	Story Height	Baths	Roof
Imp #	Foundation	Exterior			Use		HVAC Type
2025	Commercial	1970	25,913 SF	1.00	10	0.00	
1.00					Community Recreation Center		Complete HVAC

Recent Sales

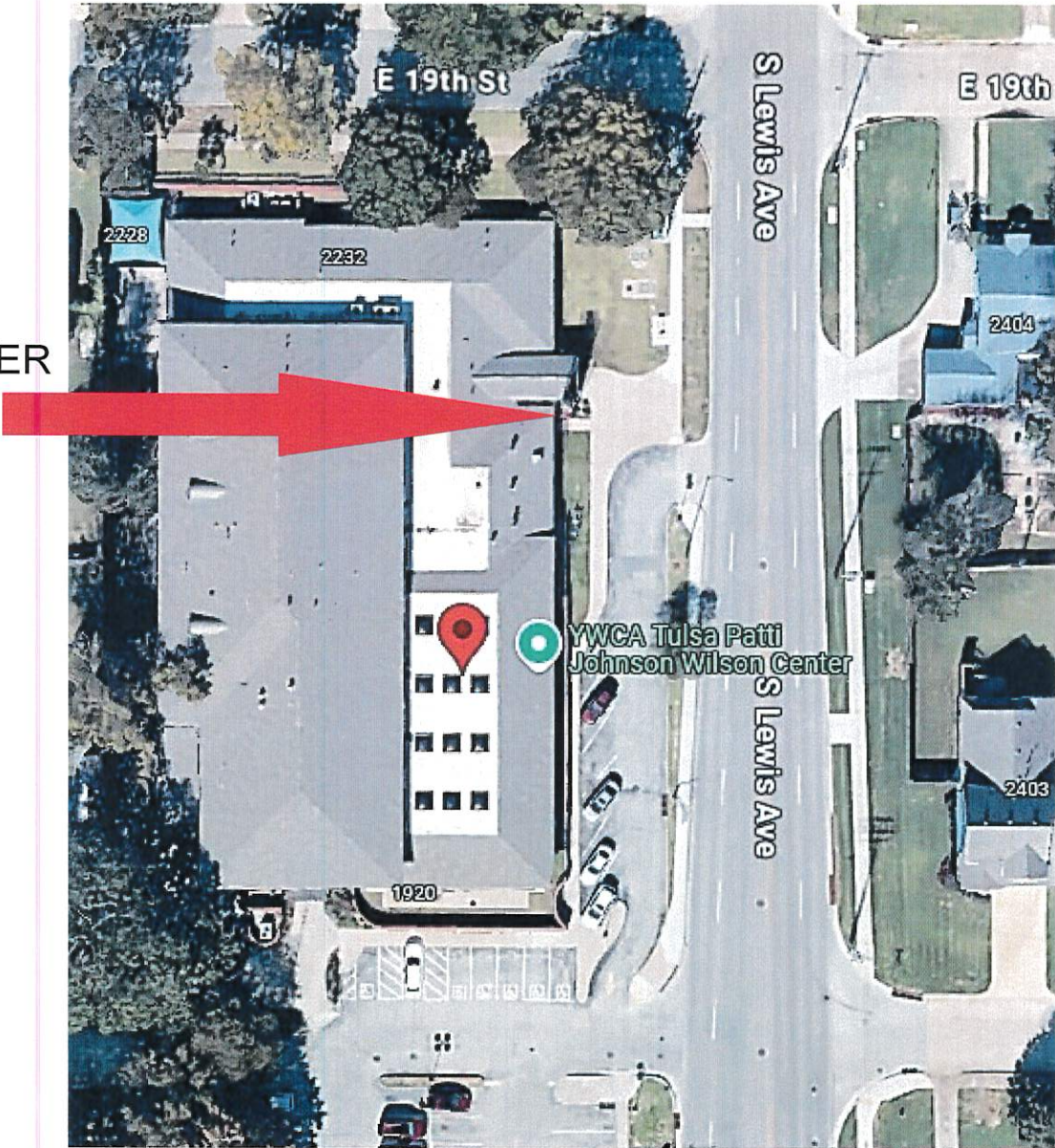
There are no recent sales for this account

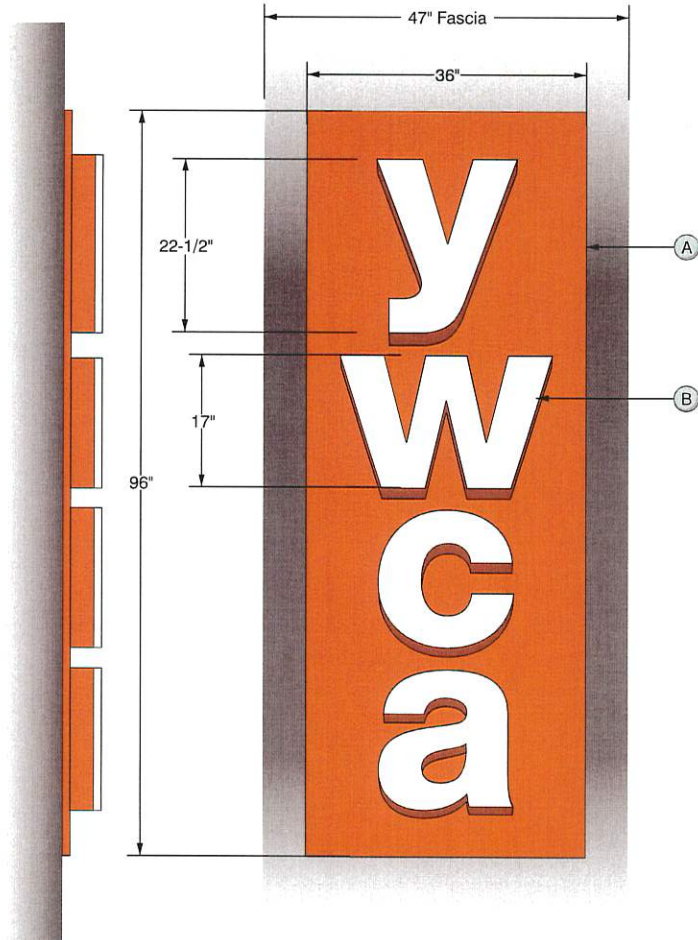


YWCA
1910 S LEWIS
PUD 530

NORTH

CLOCK TOWER
LETTERS



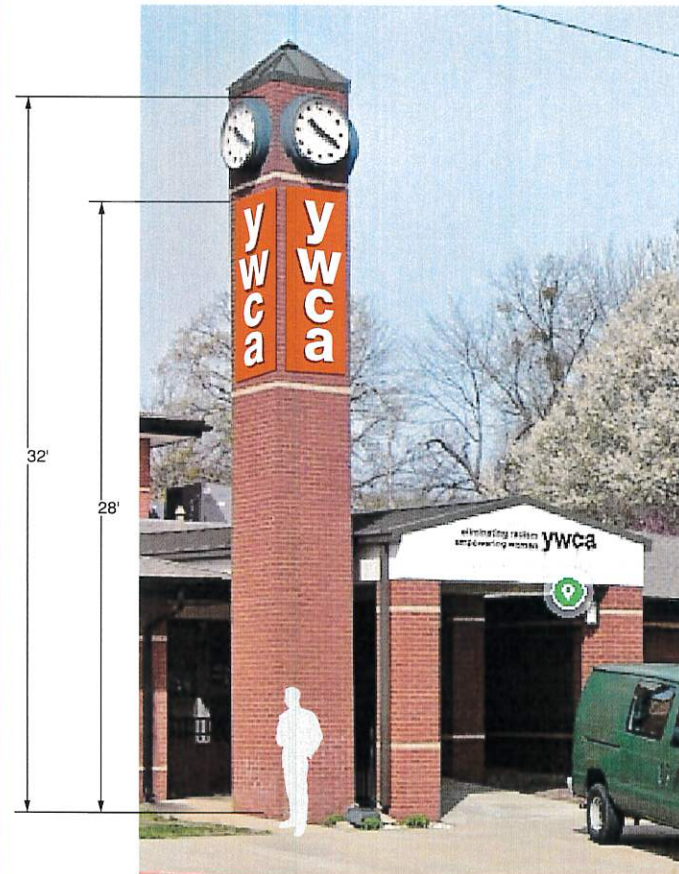


3' X 8' = 24 SQFT

CHANNEL LETTERS - Qty: 2
SCALE: 3/4" = 1'

2.0

- (A) 2" deep fabricated metal pan. PMS 172c Painted finish.
- (B) 4" deep painted returns. (PMS 172c) . White acrylic faces. White trimcap. White LED illumination



PROPOSED- South & East Elevations
SCALE: 3/16" = 1'

a
a·max
SIGN COMPANY, INC.
www.amaxsign.com
9520 E. 55th Place
Tulsa, Oklahoma 74145
ph. (918) 622-0651 ... fax. (918) 622-0659

QUALITY VALUE ASSURANCE

SCALE: As Noted UNLESS NOTED 1" = 1'

DATE: 10-30-24

FILE: 2.0 Chnl Ltrs

SALES REP: Bruce Anderson

DRAWN BY: BB

PROJECT: YWCA

LOCATION: Tulsa, OK

ADDRESS: 1910 S. Lewis Ave

CLIENT APPROVAL SIGNATURE & DATE:

UL LISTED Signs will be built to meet UL specifications as required.
nec All signs and outline lighting must comply with Article 600 of the N.E.C. standards, including proper grounding and bonding.

REVISIONS:

1. 1
2. 2
3. 3
4. 4
5. 5

This drawing is the property of A-Max Sign Co., and should not be copied, reproduced, or displayed in any fashion other than for the purchase of the product(s) depicted here.
Reproduction or exhibition of these drawings are strictly prohibited.
© A-Max Sign Company, 2024

FINAL APPROVAL FOR PRODUCTION

Project Manager:

SHEET NUMBER

1 of 1

Page 1

DWG

103024-25



File Path:
S:\JOBS FOLDER\

- Dimensions, Descriptions and Depictions stated or shown here are subject to minor modifications to accommodate numerous considerations such as final agreements on project pricing, future confirmed site conditions and requirements, fabrication method, and raw material yields.
- We will strive to match specific colors, such as Pantone values, and/or matching existing signage or surrounding building colors and/or textures. We cannot always guarantee an exact match due to the varying differences in materials, age, sheen and how colors are applied.

HP PERMIT NUMBER: HP-0715-2025

PROPERTY ADDRESS: 601 North Cheyenne Avenue

DISTRICT: BRADY HEIGHTS / THE HEIGHTS

APPLICANT: Josh Zajac

REPRESENTATIVE: N/A

A. CASE ITEMS FOR CONSIDERATION

1. Replacement of front door

B. BACKGROUND

DATE OF CONSTRUCTION: 2002 (Tulsa County Assessor)

ZONED HISTORIC PRESERVATION: 1999

NATIONAL REGISTER LISTING: BRADY HEIGHTS HISTORIC DISTRICT, 1980

CONTRIBUTING STRUCTURE: No

STYLE/CONSTRUCTION: Mixed

PREVIOUS ACTIONS:

COA – January 11, 2001 – TPC Approval

Construction of a new single-family home on cul-de-sac lot

COA – November 8, 2001 – TPC Approval

Changes to approved COA for new construction: Substitution of roof materials

COA – December 13, 2001 – TPC Approval

Change to approved COA for new construction: Change of stem wall from brick construction to block, under the conditions that the applicant use split-face block, excluding the porch

COA – January 17, 2002 – TPC Approval

Changes to approved COA for new construction: Construction of full height square wood columns, tapered; redesign of driveway to enter on Fairview; and change of porch columns from brick to block

B. ISSUES AND CONSIDERATIONS

1. Proposed is the replacement of the front door with a new fiberglass door. The proposed door would feature two vertical panels in the lower two-thirds, a single light of stained glass in the upper one-third, and two sidelights.
2. Reference: *Tulsa Zoning Code*
SECTION 70.070-F Standards and Review Criteria
In its review of HP permit applications, the preservation commission must use the adopted design guidelines to evaluate the proposed work and must, to the greatest extent possible, strive to affect a fair balance between the purposes and intent of HP district regulations and the desires and need of the property owner. In addition, the preservation commission must consider the following specific factors:
 1. The degree to which the proposed work is consistent with the applicable design guidelines;

2. The degree to which the proposed work would destroy or alter all or part of the historic resource;
 3. The degree to which the proposed work would serve to isolate the historic resource from its surroundings, or introduce visual elements that are out of character with the historic resource and its setting, or that would adversely affect the physical integrity of the resource;
 4. The degree to which the proposed work is compatible with the significant characteristics of the historic resource; and
 5. The purposes and intent of the HP district regulations and this zoning code.
3. Reference: *Unified Design Guidelines – Residential Structures*

SECTION A – GUIDELINES FOR REHABILITATION OF EXISTING STRUCTURES

A.1 General Requirements

- A.1.1 Retain and preserve the existing historic architectural elements of your home.
- A.1.2 If replacement of historic architectural elements is necessary, match the size, shape, pattern, texture, and directional orientation of the original historic elements.
- A.1.3 Ensure that work is consistent with the architectural style and period details of your home.
- A.1.4 Return the structure to its original historic appearance using physical or pictorial evidence, rather than conjectural designs.

A.3 Doors and Door Surrounds

- A.3.1 Retain and preserve original historic doors and door surrounds, including frames, glazing, panels, sidelights, fanlights, and transoms.
- A.3.2 Do not remove, cover, or move existing door, sidelight, fanlight, and transom openings.
- A.3.3 To return the home to its original historic appearance, remove non-historic doors and replace them using physical or pictorial evidence of the originals. If no evidence exists, select doors and surrounds which are consistent with the architectural style of your home.
- A.3.4 To gain thermal efficiency, storm doors which maintain the appearance and allow maximum visibility of the original historic doors may be installed. Unfinished or clear-finished metals are not allowed. (Storm doors can be staff approved.)
- A.3.5 If replacement of deteriorated doors is necessary, select doors and surrounds which are consistent with the architectural style of your home.
- A.3.6 If replacement of deteriorated trim is necessary, match the appearance, size, shape, pattern, texture, and detailing of the original historic trim.
- A.3.7 When adding new door openings, maintain the proportions of the façade. Match the dimensions and trim details of other doors and surrounds on your home. Select doors and surrounds which are consistent with the architectural style of your home.
- A.3.8 Use clear glass in new or replacement doors and sidelights.
- A.3.9 Exterior security bars and grilles are discouraged.

SECTION E – GUIDELINES FOR NON-CONTRIBUTING STRUCTURES

E.1 General Requirements

- E.1.1 For the purposes of this chapter, non-contributing structures are those listed as not contributing to the historic character of the district due to age or architectural style in the National Register Nomination for the district.
- E.1.2 Non-contributing structures will be considered products of their own time. Do not attempt to create a false appearance of the predominant character and architectural style of the rest of the district.
- E.1.3 Follow Section A (Rehabilitation) and Section B (Additions) as they relate to the character-defining elements of the non-contributing structure.

E.1.4 Ensure that work on non-contributing structures does not detract from or diminish the historic character of the overall district.



Approved Front Elevation, 2002



2009



March 2025 (Google Street View)



Proposed stained glass pattern



Historic Preservation Permit APPLICATION FORM

ATTACHMENT A: SUBMITTAL MATERIALS

PROJECT DESCRIPTION

Give a detailed description and justification for each repair, alteration, new construction, or demolition planned. Include description and condition of affected existing materials. Attach additional pages as needed.

Replace the front door with a new front door. The layout will be the same with a sidelight on each side, but the door itself will have less glass.

It will be a fiberglass door for more durability & the glass will be stained glass. I will attach images of the door & of the stained glass design.

PROJECT CHECKLIST

- ☒ Digital color photographs of each elevation of the site, building(s), and project area(s) provided by email or memory device only. **No external storage account invitations.**
- ☒ Product brochures, color photographs, and/or material samples when new or replacement materials are proposed.
- ☐ Site plan, no larger than 11x17, to scale with dimensions and north arrow showing location of structures and project area or landscape features in respect to building line, property line, and adjacent structures on all sides.
- ☐ Elevation sketches or renderings to scale with dimensions showing location of work required for changes on exterior walls, additions, and new construction
- ☐ Window Survey Form for proposed window repair or replacement (see **Attachment B**)

FOR ADDITIONS AND NEW CONSTRUCTION, THE FOLLOWING ARE REQUIRED IN ADDITION TO THE ABOVE:

- ☐ Site Plan, Floor Plans, and Elevations should be at a scale of 1 inch = 20 feet, or greater
- ☐ Architectural rendering (optional)
- ☐ Legal description of the property as recorded on the deed
- ☐ Location of all existing and proposed structure(s), with front and side setback distances indicated
- ☐ Percentage of slope on lot
- ☐ Location of existing and proposed retaining walls, sidewalks, and driveways with front and side setbacks indicated
- ☐ An additional site plan showing approximate height, width and front setback of proposed project and all adjacent structures to show relationship to neighborhood
- ☐ Floor plan to scale with dimensions required for additions and new construction

ATTACHMENT B: [WINDOW SURVEY FORM](#) (if applicable-see [Window Repair and Replacement Guide](#))

OK

4711 S. Mingo - Tulsa

918-627-1926 Fax 918-627-2726

www.mmlumberco.com

Page 1 of 1

Quote Number:

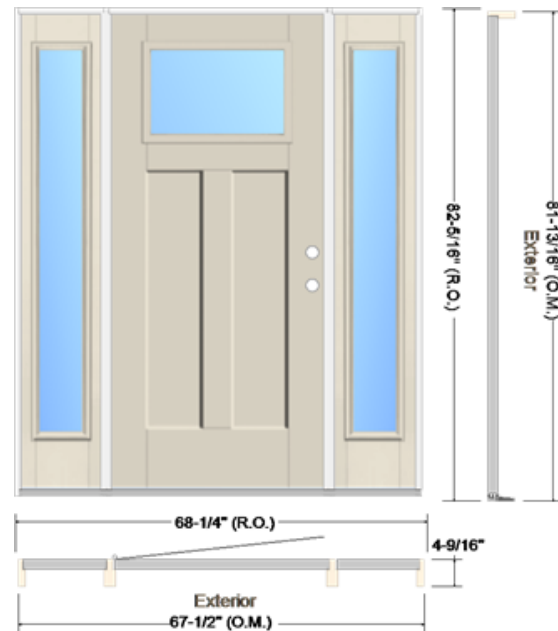
Date: 9/23/2025

Customer Information

Name: HAMMERSTARS INSPO DOOR

Address: Phone 1: Phone 2: Fax: Contact: Job Name: **Specifications**

U.D. = 67-1/2" x 81-13/16"; R.O. = 68-1/4" x 82-5/16"

*Image is viewed from Exterior!*

Lead Time: Non-Stock (Call to verify)

Item Description	Qty
3' 0" x 6' 8" S2610-ADVFL Smooth-Star Shaker-Style (Advanta Flat Lite Frame) Fiberglass Door w/Low E Glass - Left Hand Inswing	1
2-3/8" Backset - Double Bore (2-1/8" Dia. Bore w/Standard 5-1/2" Spacing)	1
Set of Ball Bearing - Brushed Nickel Hinges	1
Set Double Sidelites 14" Wide S100SL-ADVFL Smooth-Star (Advanta Flat Lite Frame) w/Low E Glass	1
Primed Dura-Frame (Continuous Head/Sill w/Narrow Mull Posts) - 4-9/16" Jamb w/No Exterior Trim	1
Bronze Compression Weatherstrip	1
Composite Adjustable - Mill Finish w/Light Cap Sill (Continuous)	1
MANUALLY ENTERED ITEM: REMOVE GLASS SHIP OPEN *Non-Taxable Item	1

Distributed by:

**Boise Cascade**
Building Materials Distribution

Version #: 3.52-O

Version Date: 6/2/2025

HP PERMIT NUMBER: HP-0216-2025

PROPERTY ADDRESS: 1571 East 19th Street

DISTRICT: SWAN LAKE

APPLICANT: Jennifer Hill

REPRESENTATIVE: N/A

A. CASE ITEMS FOR CONSIDERATION

1. Request for extension of expiration period for HP-0502-2023 approved by Tulsa Preservation Commission on November 9, 2023

B. BACKGROUND

DATE OF CONSTRUCTION: CA. 1929

ZONED HISTORIC PRESERVATION: 1994

NATIONAL REGISTER LISTING: SWAN LAKE 1998; ADDITIONAL DOCUMENTATION 2009

CONTRIBUTING STRUCTURE: Yes

STYLE/CONSTRUCTION: NR Description (1998): A two-story brick Colonial Revival residence, this house has a composition shingle gambrel roof with a shed-roofed extension of the west side. The brick chimney is centered. The entry is offset and has a small wood panel above the glazed panel door. There is a bay window on the west elevation along with a secondary entrance set beneath an arch. Windows are 6/1 double hung and paired. There is a detached two-story garage apartment in the rear.

PREVIOUS ACTIONS:

HP-0344-2022 – April 21, 2022 – Staff Approval
Repair and replacement in kind of the driveway

HP-0344-2022 – May 12, 2022 – TPC Approval
Replacement of the roof on the porch
Replacement of the floor on the porch
Construction of columns on the porch

HP-0466-2023 – June 27, 2023 – TPC Denial
Replacement of windows

HP-0502-2023 – November 9, 2023 – TPC Approval
Replacement of windows with the condition that the proposed windows have a 2" solid spread mull (Approx. 4" wide mullion) with a 2" brickmould trim

B. ISSUES AND CONSIDERATIONS

1. The applicant requests an extension of the period of performance for HP-0502-2023, which was approved by the Tulsa Preservation Commission on November 9, 2023. The approved work involved replacement of windows with Jeld-Wen Sitaline double-hung, aluminum-clad wood windows. Approved HP permits lapse and become void 2 years after approval unless the work is completed within the 2-year period. However, the

preservation commission may extend the expiration period by up to one year any time before the expiration of the approval. The HP permit, HP-0502-2023, is set to expire on November 10, 2025. A copy of the approved permit is included as an attachment.

2. Reference: *Tulsa Zoning Code*

SECTION 70.070-F, Standards and Review Criteria

In its review of HP permit applications, the preservation commission must use the adopted design guidelines to evaluate the proposed work and must, to the greatest extent possible, strive to affect a fair balance between the purposes and intent of HP district regulations and the desires and need of the property owner. In addition, the preservation commission must consider the following specific factors:

1. The degree to which the proposed work is consistent with the applicable design guidelines;
2. The degree to which the proposed work would destroy or alter all or part of the historic resource;
3. The degree to which the proposed work would serve to isolate the historic resource from its surroundings, or introduce visual elements that are out of character with the historic resource and its setting, or that would adversely affect the physical integrity of the resource;
4. The degree to which the proposed work is compatible with the significant characteristics of the historic resource; and
5. The purposes and intent of the HP district regulations and this zoning code.

SECTION 70.070-H, Lapse of Approval

1. An approved HP permit will lapse and become void 2 years after it is approved by the preservation commission, unless a building permit for the work or improvements authorized has been issued and the project is commenced and thereafter diligently pursued to completion. If no building permit is required, the work that is the subject of the HP permit application must be completed within the 2-year period.
2. The preservation commission may extend the expiration period by up to one year at the time of approval of the HP permit or any time before expiration of the approval.



1995



2016 (Google Street View)



June 23, 2023



June 23, 2023



Historic Preservation

Permit

APPLICATION FORM

ATTACHMENT A: SUBMITTAL MATERIALS

PROJECT DESCRIPTION

Give a detailed description and justification for each repair, alteration, new construction, or demolition planned. Include description and condition of affected existing materials. Attach additional pages as needed.

I have an approved project that is due by next month. I was given this property in my divorce and stuck with having to come up with the money (\$30K) that I do not have. I'm a single mom with little income and my ex-husband has been in the hospital on and off since January for alcoholism. I get no child support. He has married his nurse and she is draining his account. We have an open investigation on her. I am so stressed, the toll that has taken on me financially and emotionally for my kids has been very bad. I need more time. There is no way I can come up with money to do this right now. I hope you can give me some grace.

PROJECT CHECKLIST

- ☐ Digital color photographs of each elevation of the site, building(s), and project area(s) provided by email or memory device only. **No external storage account invitations.**
- ☐ Product brochures, color photographs, and/or material samples when new or replacement materials are proposed.
- ☐ Site plan, no larger than 11x17, to scale with dimensions and north arrow showing location of structures and project area or landscape features in respect to building line, property line, and adjacent structures on all sides.
- ☐ Elevation sketches or renderings to scale with dimensions showing location of work required for changes on exterior walls, additions, and new construction
- ☐ Window Survey Form for proposed window repair or replacement (see **Attachment B**)

FOR ADDITIONS AND NEW CONSTRUCTION, THE FOLLOWING ARE REQUIRED IN ADDITION TO THE ABOVE:

- ☐ Site Plan, Floor Plans, and Elevations should be at a scale of 1 inch = 20 feet, or greater
- ☐ Architectural rendering (optional)
- ☐ Legal description of the property as recorded on the deed
- ☐ Location of all existing and proposed structure(s), with front and side setback distances indicated
- ☐ Percentage of slope on lot
- ☐ Location of existing and proposed retaining walls, sidewalks, and driveways with front and side setbacks indicated
- ☐ An additional site plan showing approximate height, width and front setback of proposed project and all adjacent structures to show relationship to neighborhood
- ☐ Floor plan to scale with dimensions required for additions and new construction

ATTACHMENT B: [WINDOW SURVEY FORM](#) (if applicable-see [Window Repair and Replacement Guide](#))



HISTORIC PRESERVATION PERMIT

An Historic Preservation Permit for work described below has been issued under the Zoning Ordinance of the City of Tulsa (Section 70.070) to **MERH LLC**, for the address of **1571 E 19th St South**, Tulsa, Oklahoma, located in the **Swan Lake Historic Preservation Overlay District**. This proposal has been approved by the Tulsa Preservation Commission.

Any changes to the Approved Proposal require further review and approval by the Tulsa Preservation Commission prior to work being done. Unapproved changes to the Approved Proposal are a violation of the Zoning Ordinance and may result in revocation of a Building Permit and/or code enforcement.

This Historic Preservation Permit is not a Building Permit for residential or commercial zoning. A copy of this permit and approved project plans should be provided to the City of Tulsa Permit Center for the completion of the process to obtain a Building Permit, if applicable.

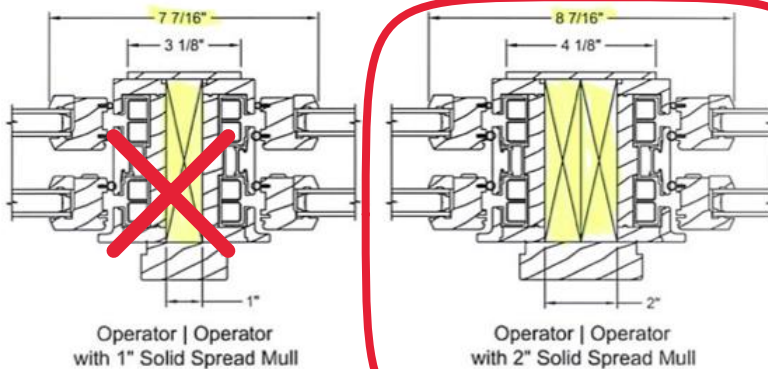
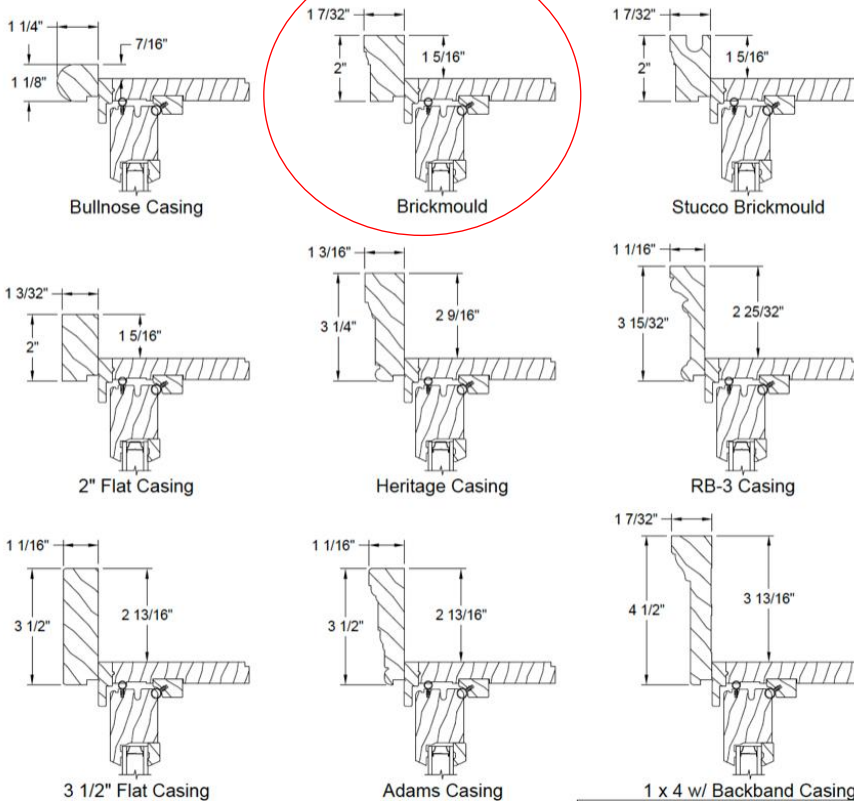
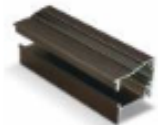
APPROVED PROPOSAL

1. Replacement of windows with the condition that the proposed windows have a 2" solid spread mull (Approx. 4" wide mullion) with a 2" brickmould trim.

Felicity Good
Historic Preservation Officer (interim), City of Tulsa

Date issued: November 9, 2023
Expiration: November 10, 2025
Number: HP-0502-2023

APPROVED DATE: 11/9/2023

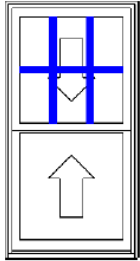
BY *Helicity Good*SUCH APPROVED PLANS SHALL NOT BE CHANGED
MODIFIED OR ALTERED WITHOUT AUTHORIZATION**JELD-WEN****SITELINE®** | DOUBLE-HUNG
WOOD WINDOWS**MULLION OPTIONS****JELD-WEN****SITELINE®** | DOUBLE-HUNG
WOOD WINDOWS**2" Brickmould trim****TRIM & SILL NOSE OPTIONS****EXTERIOR TRIM**

Brickmould for Clad Exterior

LINE	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
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Line 1

Rough Opening : 29 3/4 X 56 7/8



Viewed from Exterior. Scale: 1/2" = 1'

Frame Size : 29 X 56 1/8

(Outside Casing Size: 32 X 57 15/16),

Siteline Clad Double Hung, Auralast Pine,

Brilliant White Exterior,

Natural Interior,

Aluminum Brickmould, Standard Sill Nosing, Remove Fin, Brilliant White Trim,

5 1/4 Jamb, 4/4 Thick,

Standard Double Hung, White Jambliner, Concealed Jambliner

Chestnut Bronze Hardware,

US National-WDMA/ASTM, PG 35,

Insulated SunResist Annealed Glass, Protective Film, Gray Spacer, Argon Filled, Traditional Glz Bd,

Brilliant White SDL, 5/8" Putty SDL w/Perm Wood Putty Int BAR, Light

Bronze Shadow Bar, Colonial Top Lite(s) Only 3 Wide 2 High Top,

BetterVue Mesh Brilliant White Screen,

Custom-Width, *Custom-Height*, IGThick=0.698(3/32 / 3/32), Clear

Opening:25.2w, 24.4h, 4.2 sf

U-Factor: 0.30, SHGC: 0.18, VLT: 0.42, Energy Rating: 12.00, CR: 60.00,

CPD: JEL-N-880-03888-00001

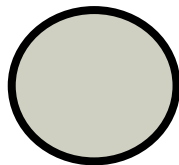
PEV 2022.3.0.3989/PDV 6.751 (09/15/22)NW

Window Sizes:

South & West facing windows: 58 x 30

East facing windows: 34 x 30

Proposed - Jeld-Wen Siteline Double-Hung Clad-Wood Window



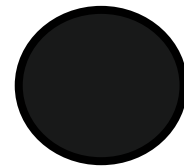
Mocha Cream



Ivory



French Vanilla



Black



Steele Gray

Chestnut
Bronze

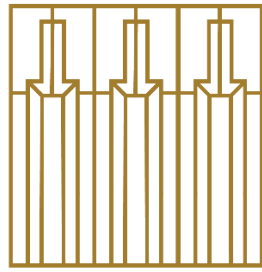
Black

Proposed Window – Color Options

CITY OF TULSA PRESERVATION COMMISSION

APPROVED DATE: 11/9/2023

BY *Helicity Wood*SUCH APPROVED PLANS SHALL NOT BE CHANGED
MODIFIED OR ALTERED WITHOUT AUTHORIZATION



TULSA

PRESERVATION COMMISSION

2026 MEETING SCHEDULE

HP Permit Subcommittee Meeting
City Hall, 10th Floor, Room 10-203

TPC Regular Meeting
City Hall, 2nd Floor, Council Chamber

January 811:00 am
January 29 4:00 pm
February 1211:00 am
February 26..... 4:00 pm
March 1211:00 am
March 26 4:00 pm
April 9.....11:00 am
April 30 4:00 pm
May 1411:00 am
May 28..... 4:00 pm
June 1111:00 am
June 25 4:00 pm
July 9.....11:00 am
July 30 4:00 pm
August 1311:00 am
August 27..... 4:00 pm
September 1011:00 am
September 24 4:00 pm
October 811:00 am
October 29 4:00 pm
November 12.....11:00 am
December 1011:00 am

January 15.....11:00 am
February 5 4:00 pm
February 1911:00 am
March 5..... 4:00 pm
March 1911:00 am
April 2..... 4:00 pm
April 16.....11:00 am
May 7 4:00 pm
May 2111:00 am
June 4 4:00 pm
June 18.....11:00 am
July 2..... 4:00 pm
July 1611:00 am
August 6..... 4:00 pm
August 2011:00 am
September 3..... 4:00 pm
September 1711:00 am
October 1..... 4:00 pm
October 15.....11:00 am
November 5 4:00 pm
November 1911:00 am
December 1711:00 am

All meetings are held at City Hall, 175 East 2nd Street.

Complete applications are due by 5:00 pm one week prior to the meeting date.

Proposals for new construction, additions, demolition, and other complex projects are reviewed by the HP Permit Subcommittee before being forwarded to a TPC regular meeting.