



TULSA PRESERVATION COMMISSION

STAFF REPORT

December 05, 2024

HP-0631-2024

HP PERMIT NUMBER: HP-0631-2024-B

PROPERTY ADDRESS: 1868 East 17th Street

DISTRICT: YORKTOWN

APPLICANT: MELISSA BARRETT

REPRESENTATIVE: N/A

A. CASE ITEMS FOR CONSIDERATION

1. Installation of siding – 8” Lap (West Side)
2. Repair and reinstallation of window trim (West Side)

B. BACKGROUND

DATE OF CONSTRUCTION: 1925

ZONED HISTORIC PRESERVATION: 1995

NATIONAL REGISTER LISTING: YORKTOWN HISTORIC DISTRICT, 2002

CONTRIBUTING STRUCTURE: Yes

STYLE/CONSTRUCTION: NR Description (2002): C. 1923 Bungalow/Craftsman. *This one-story, weatherboard house has an asphalt-covered, cross-gabled roof and a concrete foundation. The wood windows are a patterned, eight-over-one hung and the wood door is a glazed flush. The nearly full-width porch is uncovered except for a shed roof supported by triangular knee braces immediately over the door. There is a brick, exterior, gable wall chimney on the east side. Decorative details include double windows. There is a rear, detached, wood single car garage.*

PREVIOUS ACTIONS:

HP-0631-2024-A – November 14, 2024 - TPC APPROVAL

1. Replacement of front door and hardware
2. Installation of wall light
3. Installation of mailbox
4. Installation of house numbers

HP-0630-2024 – October 28, 2024 - STAFF APPROVAL

1. In-kind repair/replacement of existing novelty siding and trim – South Side (Front Face)
2. In-kind repair/replacement of existing window trim – South Side (Front Face)
3. In-kind repair/replacement of existing door trim & dental molding – South Side (Front Face)
4. In-kind repair of existing triangular knee brace/bracket porch overhang – South Side (Front Face)
5. In-kind repair of brick porch skirt & pillars using existing brick – South Side (Front Face)

B. ISSUES AND CONSIDERATIONS

1. The applicant is proposing the completion of 8" lap siding installation up to the fireplace, and the repair and reinstallation of window trim on the west (driveway side) of the residence as the existing novelty siding and trim was damaged and rotting. *This portion of the project was initiated without a Historic Preservation Permit, and per the applicant was started by the previous owner before they purchased off-market.*

2. Reference: *Tulsa Zoning Code*

SECTION 70.070-F Standards and Review Criteria

In its review of HP permit applications, the preservation commission must use the adopted design guidelines to evaluate the proposed work and must, to the greatest extent possible, strive to affect a fair balance between the purposes and intent of HP district regulations and the desires and need of the property owner. In addition, the preservation commission must consider the following specific factors:

1. The degree to which the proposed work is consistent with the applicable design guidelines;
2. The degree to which the proposed work would destroy or alter all or part of the historic resource;
3. The degree to which the proposed work would serve to isolate the historic resource from its surroundings, or introduce visual elements that are out of character with the historic resource and its setting, or that would adversely affect the physical integrity of the resource;
4. The degree to which the proposed work is compatible with the significant characteristics of the historic resource; and
5. The purposes and intent of the HP district regulations and this zoning code.

3. Reference: *Unified Design Guidelines – Residential Structures*

SECTION A – GUIDELINES FOR REHABILITATION OF EXISTING STRUCTURES

A.1 General Requirements

A.1.1 Retain and preserve the existing historic architectural elements of your home.

A.1.2 If replacement of historic architectural elements is necessary, match the size, shape, pattern, texture, and directional orientation of the original historic elements.

A.1.3 Ensure that work is consistent with the architectural style and period details of your home.

A.1.4 Return the structure to its original historic appearance using physical or pictorial evidence, rather than conjectural designs.

A.2 Exterior Walls

A.2.1 Retain and preserve the original historic wall materials and character-defining details, including, but not limited to, window and door trim, eave brackets, and embedded porch columns.

A.2.2 To return the home to its original historic appearance, remove non-historic siding and trim. Repair and restore the underlying historic siding, trim, and details. Removal of non-historic siding is encouraged (and may be staff approved).

A.2.3 If replacement of deteriorated wall materials is necessary, use matching materials (wood, brick, etc.) that maintain the size, shape, pattern, texture, and directional orientation of the original historic material.

A.2.4 When proposing to use materials different from the original historic wall materials, replacement materials that maintain the character of the structure

and the size, shape, pattern, texture, and directional orientation of the original historic siding will be considered on a case-by-case basis.

- A.2.5 In order to maintain the historic appearance of the structure, do not apply paint to unpainted brick or stone walls. Staff can approve the removal of paint from brick or stone surfaces to return the structure to its original historic appearance. Repainting previously painted surfaces does not require HP Permit review.

A.4 Windows and Window Trim

- A.4.1 Retain and preserve original historic windows, including glazing, trim, muntins, and character-defining details.
- A.4.2 Do not remove, cover, or move existing window openings.
- A.4.3 To return the home to its original historic appearance, remove non-historic windows and trim. When selecting replacements, use physical or pictorial evidence. If no evidence exists, select windows which are consistent with the architectural style of your home.
- A.4.4 To gain thermal efficiency, storm windows which maintain the appearance and allow maximum visibility of the original historic windows may be installed. Unfinished and clear-finished metals are not allowed. (Storm windows can be staff approved.)
- A.4.5 If replacement of deteriorated windows is necessary, match the original historic windows in sash design, size, shape, muntin pattern, location, glazing area, and tint. Insulated glass (double-pane) windows may be used. Exterior muntins are required on simulated-divided-light windows.
- .1 Brady Heights – Match the original historic window material.
 - .2 Elmwood – Match the original historic window material
- A.4.6 If replacement of deteriorated trim is necessary, match the appearance, size, shape, pattern, texture, and detailing of the original historic trim.
- A.4.7 When adding new window openings, maintain the proportions of the façade. Match the size, design, and pattern of the existing windows. Align the headers of new windows with the existing windows.
- A.4.8 Exterior security bars and grilles are discouraged.

A.5 Roofs

- A.5.1 Retain and preserve the original historic roof form (hipped, gabled, etc.) and pitch.
- A.5.2 Do not remove character-defining architectural features of your roof, including, but not limited to, dormers, chimneys, cupolas, eaves, soffits, fascia boards, and decorative details, such as eave brackets, exposed rafter tails, or corbels.
- A.5.3 If replacement of deteriorated architectural roof features is necessary, use materials that maintain the character of the structure and the size, shape, pattern, texture, dimensions, and directional orientation of the original historic roof features.
- .1 Elmwood – Match the original historic roof material
- A.5.4 To return the home to its original historic appearance, use physical or pictorial evidence. If no evidence exists, select architectural roof features which are consistent with the architectural style of your home.
- A.5.5 Replacement of existing roof covering—wood shingles, asphalt shingles, clay tile, etc.—with the same material does not require HP Permit review (for example, replacing an asphalt-shingled roof with asphalt shingles). Architectural shingles are encouraged.

A.5.6 When proposing to change the materials of your roof covering, replacement materials that maintain the character of the structure and the size, shape, pattern, texture, and directional orientation of the original historic roof covering will be considered on a case-by-case basis.

.1 Yorktown – Metal roofing is not allowed.

A.5.7 When replacing your roof covering, replace an entire roof section if it is visible from the street.



1868 E 17th Street – 2001 Survey



1868 E 17th Street – 2016 Survey



Historic Preservation

Permit

APPLICATION FORM

ATTACHMENT A: SUBMITTAL MATERIALS

PROJECT DESCRIPTION

Give a detailed description and justification for each repair, alteration, new construction, or demolition planned. Include description and condition of affected existing materials. Attach additional pages as needed.

PROJECT CHECKLIST

- Digital color photographs of each elevation of the site, building(s), and project area(s) provided by email or memory device only. **No external storage account invitations.**
- Product brochures, color photographs, and/or material samples when new or replacement materials are proposed.
- Site plan, no larger than 11x17, to scale with dimensions and north arrow showing location of structures and project area or landscape features in respect to building line, property line, and adjacent structures on all sides.
- Elevation sketches or renderings to scale with dimensions showing location of work required for changes on exterior walls, additions, and new construction
- Window Survey Form for proposed window repair or replacement (see **Attachment B**)

FOR ADDITIONS AND NEW CONSTRUCTION, THE FOLLOWING ARE REQUIRED IN ADDITION TO THE ABOVE:

- Site Plan, Floor Plans, and Elevations should be at a scale of 1 inch = 20 feet, or greater
- Architectural rendering (optional)
- Legal description of the property as recorded on the deed
- Location of all existing and proposed structure(s), with front and side setback distances indicated
- Percentage of slope on lot
- Location of existing and proposed retaining walls, sidewalks, and driveways with front and side setbacks indicated
- An additional site plan showing approximate height, width and front setback of proposed project and all adjacent structures to show relationship to neighborhood
- Floor plan to scale with dimensions required for additions and new construction

ATTACHMENT B: [WINDOW SURVEY FORM](#) (if applicable- see [Window Repair and Replacement Guide](#))



County Assessor Image 1999

1868 East 17th Street
1872 East 17th Street
Yorktown Historic District
Tulsa County, Oklahoma
SE # 34

NR Survey Image 2002



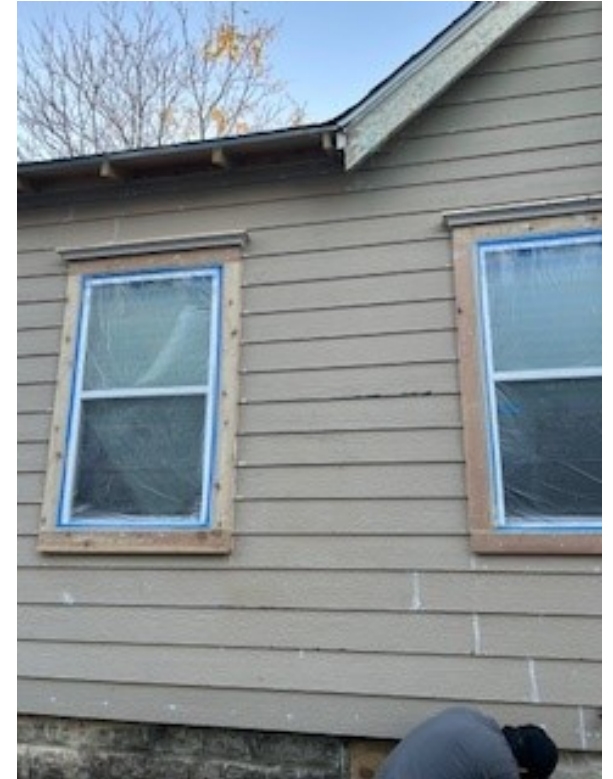
Installation of 8" Lap and rough cedar trim



Proposed Trim - To match existing



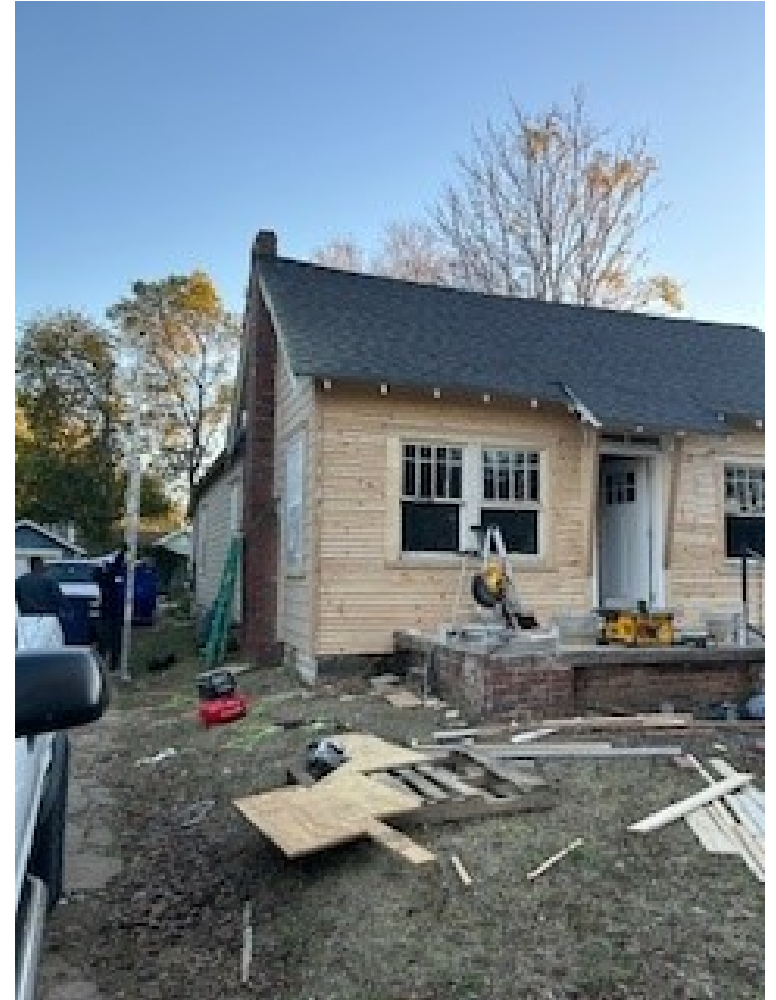
Front Facade



Installation of window trim to match existing on front facade



Example of trim along fireplace (Across Street)



Staff Approved: In-Kind Repairs : Porch & Novelty Siding & Trim/Brace re-installation - In progress



TULSA PRESERVATION COMMISSION

HISTORIC PRESERVATION PERMIT SUBCOMMITTEE STAFF REPORT

December 05, 2024

HP-0632-2024

HP PERMIT NUMBER: HP-0632-2024

PROPERTY ADDRESS: 1519 E 21st Street

DISTRICT: SWAN LAKE

APPLICANT: Brent Wilks

REPRESENTATIVE: N/A

A. CASE ITEMS FOR CONSIDERATION

1. Replacement of house numbers

B. BACKGROUND

DATE OF CONSTRUCTION: 1926

ZONED HISTORIC PRESERVATION: 1994

NATIONAL REGISTER LISTING: SWAN LAKE 1998; ADDITIONAL DOCUMENTATION 2009

CONTRIBUTING STRUCTURE: Yes

STYLE/CONSTRUCTION: NR Description: A one-story brick Tudor Revival residence, 1519 has a hipped and gabled roof with composition shingles and a shed-roofed dormer with four fixed windows. On the right is a large front-facing gable with a small arched vent in the gable end. Below the gable are paired 8/8 double hung windows. On the left the eave is flared to form the roof of a small porch with a brick arch and column. To the left of the entrance is a double chimney flanked by small gables over paired 8/8 double hung windows. Other decorative details include corniced boards, concrete keystones and inserts, and brick sills. At the rear is a detached garage.

PREVIOUS ACTIONS: None found

B. ISSUES AND CONSIDERATIONS

The applicant proposes the installation of house numbers. The applicant states the previous numbers were 3" metal numbers on a wood piece floating from a hanging chain. Two options are presented for the replacements. The first option is a plaque with gold numbers that would be attached to the residence. The second option is bronze with a gold rose for added detail.

1. Reference: *Tulsa Zoning Code*

SECTION 70.070-F Standards and Review Criteria

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- historic resource and its setting, or that would adversely affect the physical integrity of the resource;
4. The degree to which the proposed work is compatible with the significant characteristics of the historic resource; and
 5. The purposes and intent of the HP district regulations and this zoning code.
2. Reference: *Unified Design Guidelines – Residential Structures*

SECTION A – GUIDELINES FOR REHABILITATION OF EXISTING STRUCTURES

A.1 General Requirements

- A.1.1 Retain and preserve the existing historic architectural elements of your home.
- A.1.2 If replacement of historic architectural elements is necessary, match the size, shape, pattern, texture, and directional orientation of the original historic elements.
- A.1.3 Ensure that work is consistent with the architectural style and period details of your home.
- A.1.4 Return the structure to its original historic appearance using physical or pictorial evidence, rather than conjectural designs.

A.7 Awnings, Shutters, Mailboxes, Mechanical Systems, Etc.

- A.7.1 Select awnings that are consistent with the architectural style of your home.
- A.7.2 Select window shutters that are consistent with the architectural style of your home. Plastic shutters and door shutters are not historically accurate and are not allowed.
- A.7.3 Attach mailboxes to the front of the porch or house.
- A.7.4 Install engineering systems and their associated elements such as, but not limited to, air conditioning and heating units, package units, flues, conduits, cables, electrical boxes, ventilators, and louvers, on the side or rear façade of the structure.
- A.7.5 Install utility meters on the side or rear façade of the house, or underground in a subterranean vault.
- A.7.6 Install systems requiring exterior components, such as solar panels or devices, where they will have minimal impact, preferably at the rear of your house or yard or on an outbuilding. Install exterior components on a historic building in a manner that does not damage the historic roofing material or negatively impact the building's historic character and is reversible. These considerations will be made on a case-by-case basis.
- A.7.7 Installation of radio or television antennas, including satellite dishes and similar devices, not visible from abutting streets, as determined by staff, is exempt from HP Permit review.



Survey Photo 1995



Google Street View 2023

← Search Wayfair

Richmond 1-Line Wall Address Plaque

By Whitehall Products

★★★★★ 4.8 | 76 Reviews

SKU: W005051368



Sale

\$62.00

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- Sale
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- Cart ¹

Option #1



MajesticmetalsShop



\$246.11



SOLID BRONZE Tudor Rose House Doo...

Personalization: 1519

Already in 2 carts!

Edit

Save for later

🗑️ 1 +

Mark order as a gift

View gifting options at checkout.



Apply shop coupon codes



How you'll pay



Option #2

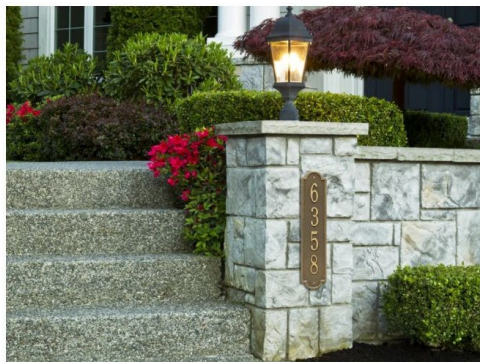
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TULSA PRESERVATION COMMISSION

HISTORIC PRESERVATION PERMIT SUBCOMMITTEE STAFF REPORT

December 5, 2024

HP-0635-2024

HP PERMIT NUMBER: HP-0635-2024

PROPERTY ADDRESS: 902 North Denver Avenue

DISTRICT: BRADY HEIGHTS / THE HEIGHTS

APPLICANT: Katelyn Parker

REPRESENTATIVE: N/A

A. CASE ITEMS FOR CONSIDERATION

1. Replacement of existing retaining wall

B. BACKGROUND

DATE OF CONSTRUCTION: 1917

ZONED HISTORIC PRESERVATION: 1999

NATIONAL REGISTER LISTING: BRADY HEIGHTS HISTORIC DISTRICT, 1980

CONTRIBUTING STRUCTURE: YES

STYLE/CONSTRUCTION: N/A

PREVIOUS ACTIONS:

COA-12-012 – March 27, 2012 – TPC APPROVAL

1. Replace existing back door with new steel Craftsman-style, two-panel door with six-light window

COA-12-052 – December 13, 2012 – TPC APPROVAL

1. Replace two existing non-original light fixtures with new light fixtures on top of porch columns

HP-17-021 – March 28, 2017 – TPC APPROVAL

1. Remove section of retaining wall
2. Construct new concrete driveway
3. Replace two porch lights

HP-17-021 – March 28, 2017 – STAFF APPROVAL

1. Repair and replacement in kind of concrete on front steps
2. Repair and replacement in kind of wood on pergola

HP-17-112 – December 14, 2017 – TPC APPROVAL

1. Removal of retaining wall and sidewalk
2. Replacement of roof and siding on garage, with the condition that the size and placement of the board-and-batten pattern on the door matches the pattern on the gable
3. Construction of carport to be attached to garage.

B. ISSUES AND CONSIDERATIONS

1. The applicant proposes the replacement of the existing retaining wall after the previously approved project was abandoned by the City of Tulsa's Engineering Services and its Streets and Stormwater Department. The applicant would like to rebuild the retaining wall using new "Belguard" blocks as they are the closest aesthetic choice to the original block as the mason is unable to reuse the existing wall material due to its condition. The specifications and styles of the proposed material and other retaining walls in the neighborhood are noted in applicant's submittal material attached here.

2. Reference: *Tulsa Zoning Code*

SECTION 70.070-F Standards and Review Criteria

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5. The purposes and intent of the HP district regulations and this zoning code.

3. Reference: *Unified Design Guidelines – Residential Structures*

SECTION A – GUIDELINES FOR REHABILITATION OF EXISTING STRUCTURES

A.1 General Requirements

- A.1.1 Retain and preserve the existing historic architectural elements of your home.
- A.1.2 If replacement of historic architectural elements is necessary, match the size, shape, pattern, texture, and directional orientation of the original historic elements.
- A.1.3 Ensure that work is consistent with the architectural style and period details of your home.
- A.1.4 Return the structure to its original historic appearance using physical or pictorial evidence, rather than conjectural designs.

SECTION G – GUIDELINES FOR LANDSCAPE FEATURES, PAVING, AND SIGNAGE

G.1 Landscape Features

- G.1.1 Retain and preserve original historic walls, fencing, lighting, planters, and other landscape features through repair.
- G.1.2 Removal of historic landscape features will be considered on a case-by-case basis. Removal of non-historic landscape features can be staff-approved.
- G.1.3 Ensure that new landscape features are appropriate to the style of your home and consistent with the historic elements found along the same street and within the district.
- G.1.4 Use fencing materials that are consistent with the historic fencing found along the same street and within the district. Chain-link fencing, wire fencing (12 gauge or less), vinyl fencing, or any fencing that blocks the view of structures is not allowed.
- G.1.5 Use wall materials that are consistent with the historic walls found along the same street and within the district. Cinder block, segmental retaining wall systems, corrugated metal, and railroad ties are not allowed. Historically styled cast concrete block will be considered on a case-by-case basis.
 - .1 Elmwood – dry-stack retaining walls are not allowed



G.1.4 Low wooden picket (and, in some instances, wrought iron) fences are most appropriate.



G.1.5 Historically, retaining walls were constructed of native stone or brick.



902 N Denver Ave - 1986



902 N Denver Ave - 2001



902 N Denver Ave – 2017



902 N Denver Ave – 2023



Historic Preservation Permit APPLICATION FORM

ATTACHMENT A: SUBMITTAL MATERIALS

PROJECT DESCRIPTION

Give a detailed description and justification for each repair, alteration, new construction, or demolition planned. Include description and condition of affected existing materials. Attach additional pages as needed.

Replacement of existing retaining wall within street yard

PROJECT CHECKLIST

- Digital color photographs of each elevation of the site, building(s), and project area(s) provided by email or memory device only. No external storage account invitations.
- Product brochures, color photographs, and/or material samples when new or replacement materials are proposed.
- Site plan, no larger than 11x17, to scale with dimensions and north arrow showing location of structures and project area or landscape features in respect to building line, property line, and adjacent structures on all sides.
- Elevation sketches or renderings to scale with dimensions showing location of work required for changes on exterior walls, additions, and new construction
- Window Survey Form for proposed window repair or replacement (see Attachment B)

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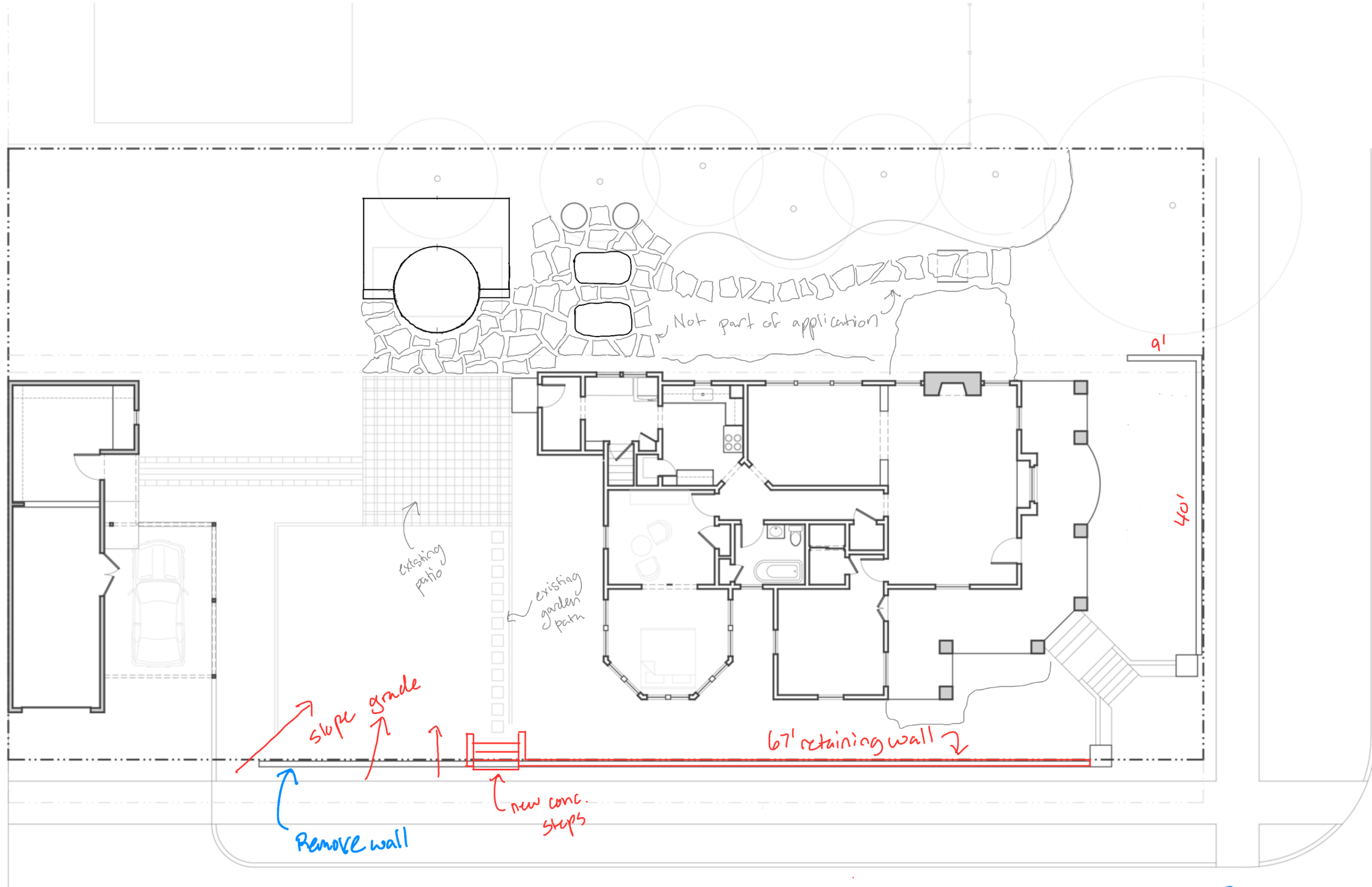
- Site Plan, Floor Plans, and Elevations should be at a scale of 1 inch = 20 feet, or greater
- Architectural rendering (optional)
- Legal description of the property as recorded on the deed
- Location of all existing and proposed structure(s), with front and side setback distances indicated
- Percentage of slope on lot
- Location of existing and proposed retaining walls, sidewalks, and driveways with front and side setbacks indicated
- An additional site plan showing approximate height, width and front setback of proposed project and all adjacent structures to show relationship to neighborhood
- Floor plan to scale with dimensions required for additions and new construction

ATTACHMENT B: [WINDOW SURVEY FORM](#) (if applicable- see [Window Repair and Replacement Guide](#))



902 E Denver - Existing Walls

902 E Denver - Existing Walls



Site Plan
 $\frac{3}{32}'' = 1'-0''$







ShortCut® Sculpted Cap

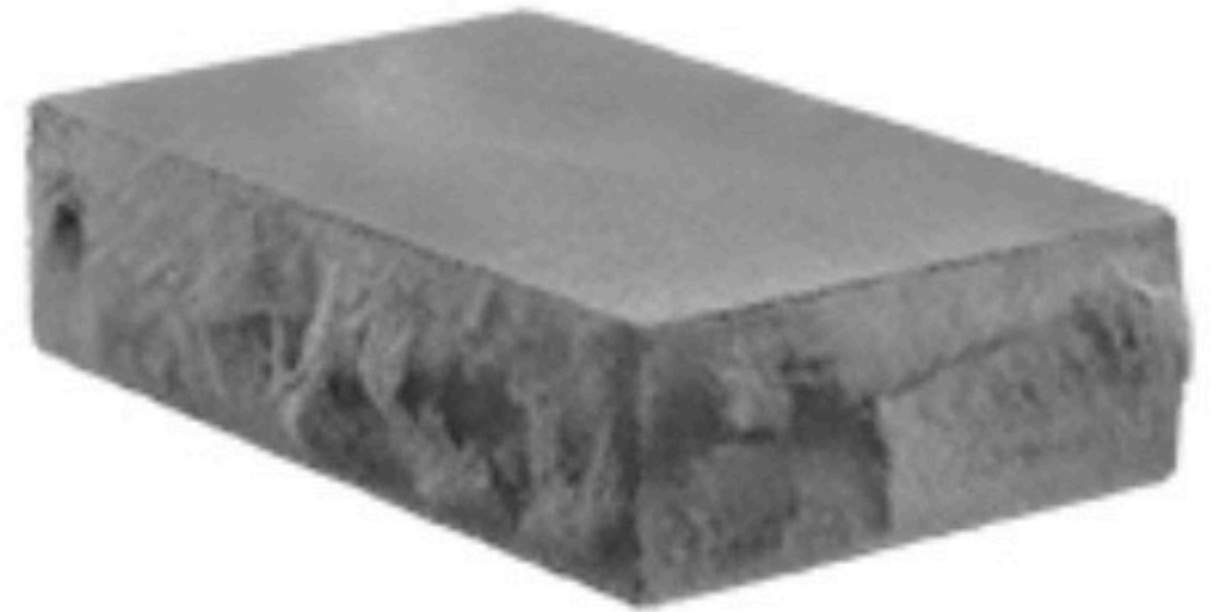
Height **0'3"**

Front Length **0'8"**

Depth **1'1"**

Weight **22 lbs**

Front Coverage **0.17 sq. ft.**



Belair Cap End

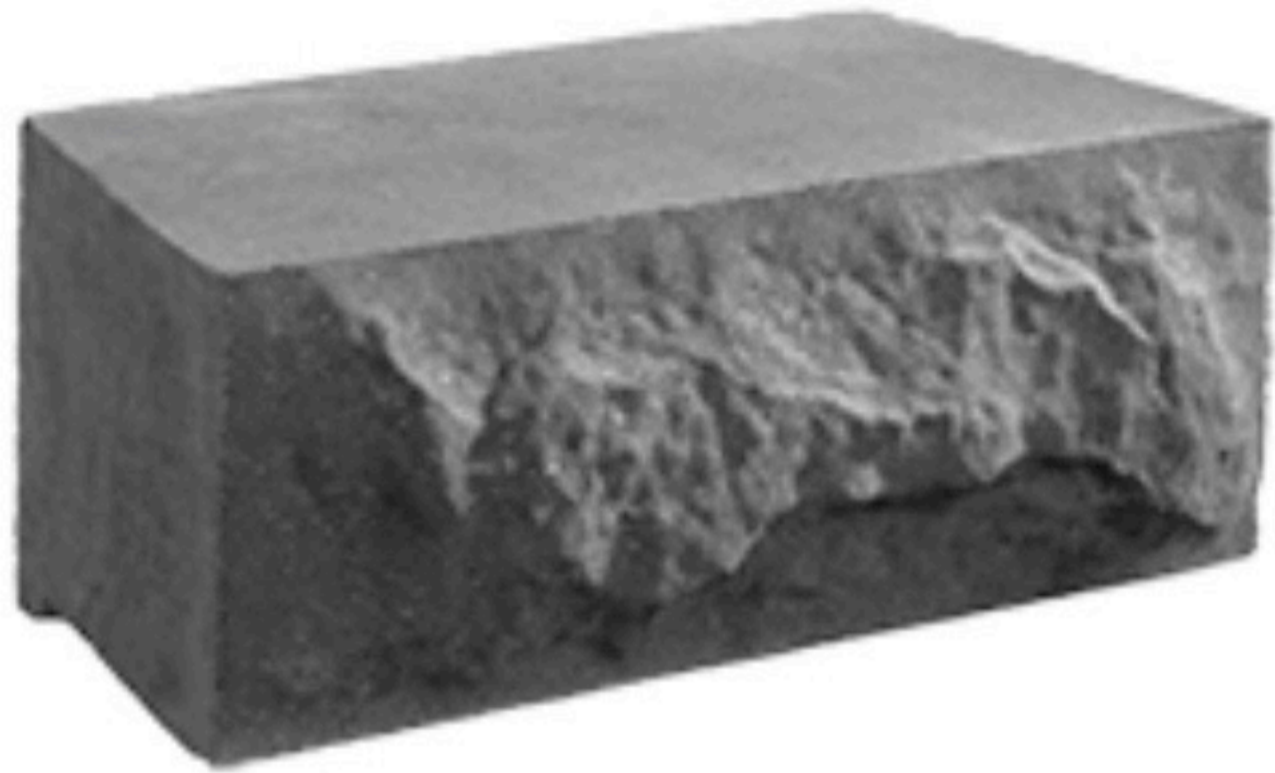
Height **0'3"**

Front Length **0'8"**

Depth **1'1"**

Weight **21 lbs**

Front Coverage **0.17 sq. ft.**



Belair large block

Height **0'6"**

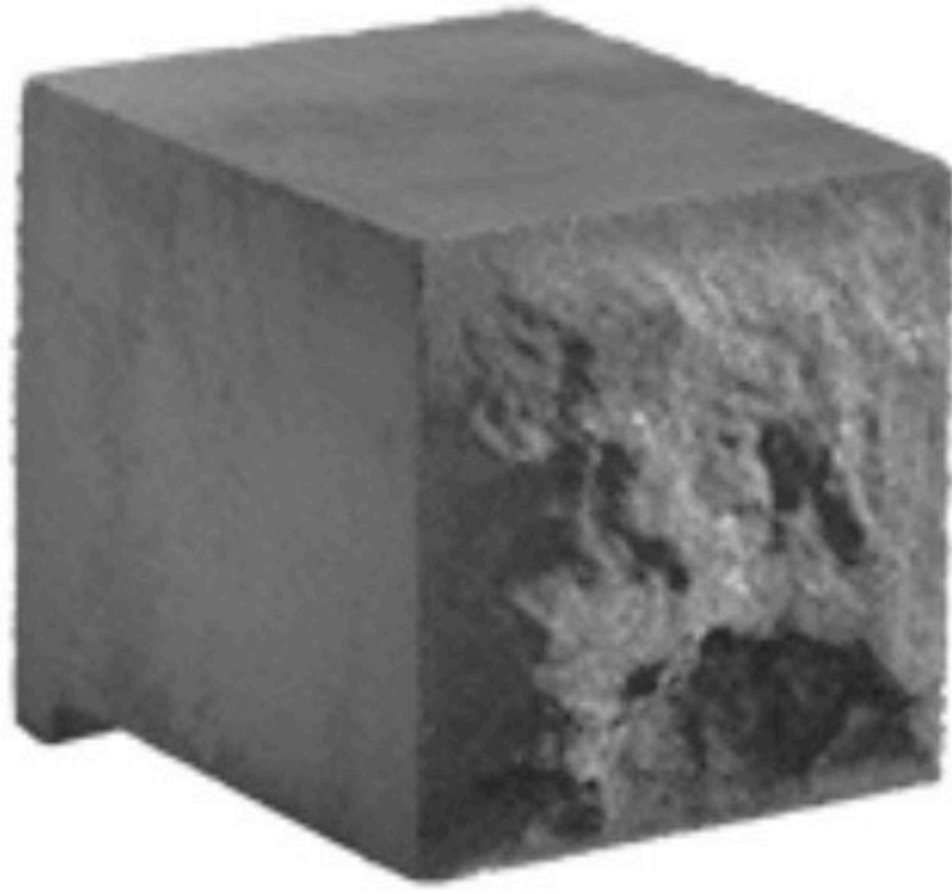
Front Length **1'4"**

Depth **0'8"**

Weight **52 lbs**

Front Coverage **0.67 sq. ft.**

Setback **1°**



Belair small block

Height **0'6"**

Front Length **0'6"**

Depth **0'8"**

Weight **21 lbs**

Front Coverage **0.25 sq. ft.**

Setback **1°**



6" Corner/Column

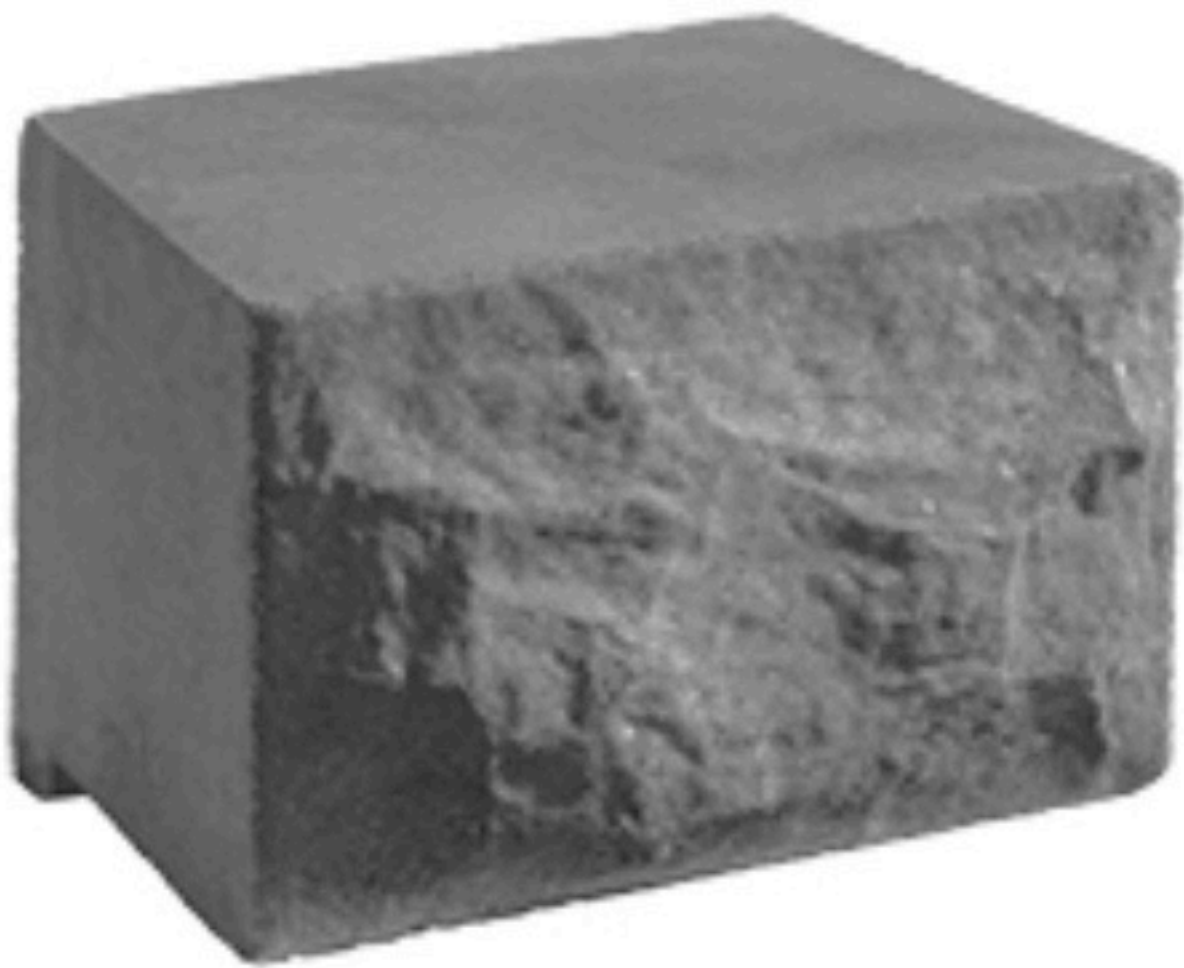
Height **0'6"**

Front Length **1'4"**

Depth **0'8"**

Weight **57 lbs**

Front Coverage **0.7 sq. ft.**



Belair medium block

Height **0'6"**

Front Length **0'10"**

Depth **0'8"**

Weight **32 lbs**

Front Coverage **0.42 sq. ft.**

Setback **1°**





TULSA PRESERVATION COMMISSION

HISTORIC PRESERVATION PERMIT SUBCOMMITTEE STAFF REPORT

December 05, 2024

HP-0639-2024

HP PERMIT NUMBER: HP-0639-2024

PROPERTY ADDRESS: 1624 S Owasso Avenue

DISTRICT: NORTH MAPLE RIDGE

APPLICANT: Tom Neal

REPRESENTATIVE: N/A

A. CASE ITEMS FOR CONSIDERATION

1. Addition of terrace on front porch
2. Installation of shutters

B. BACKGROUND

DATE OF CONSTRUCTION: 1920

ZONED HISTORIC PRESERVATION: 1993; ORDINANCE AMENDMENT 2005

NATIONAL REGISTER LISTING: MAPLE RIDGE HISTORIC RESIDENTIAL DISTRICT, 1983

CONTRIBUTING STRUCTURE: Yes

STYLE/CONSTRUCTION: NR Description:

PREVIOUS ACTIONS:

HP-0237-2020 – December 10, 2020 – TPC Approval

Replacement of fence

B. ISSUES AND CONSIDERATIONS

1. The applicant proposes the addition of a 22' x 8' terrace extension to the original uncovered porch. The terrace would match the height and materials (brick and concrete) of the original. The brick on the home was painted before the current homeowners lived at the property. The applicant proposes painting the brick on the new terrace to match the existing on the home. Additionally, the homeowners propose the addition of shutters to the lower set of windows on the front façade to match the ones currently installed on the 2nd floor windows. The shutters would be 12" wide made of plastic.

2. Reference: *Tulsa Zoning Code*

SECTION 70.070-F Standards and Review Criteria

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A.1 General Requirements

- A.1.1 Retain and preserve the existing historic architectural elements of your home.
- A.1.2 If replacement of historic architectural elements is necessary, match the size, shape, pattern, texture, and directional orientation of the original historic elements.
- A.1.3 Ensure that work is consistent with the architectural style and period details of your home.
- A.1.4 Return the structure to its original historic appearance using physical or pictorial evidence, rather than conjectural designs.

A.6 Porches

- A.6.1 Retain and preserve the original historic porch and its character-defining architectural features through repair.
- A.6.2 Do not remove character-defining architectural features of your porch, including, but not limited to, ceiling, floor, piers, columns, railings, handrails, steps, bulk-heads, skirt/stem wall, and decorative details, such as crown molding, trim, eave brackets, and exposed rafter tails.
- A.6.3 If replacement of deteriorated porch elements is necessary, use materials that maintain the character of the structure and the size, shape, pattern, texture, dimensions, and directional orientation of the original historic features.
- A.6.4 To return the home to its original historic appearance, use physical or pictorial evidence. If no evidence exists, select porch features which are consistent with the architectural style of your home. Return enclosed porches to original historic open design (which can be staff approved).
- A.6.5 If adding a railing or other porch elements where none exists, select porch elements (columns, railing design, trim, etc.) which are consistent with the architectural style of your home.

A.7 Awnings, Shutters, Mailboxes, Mechanical Systems, Etc.

- A.7.1 Select awnings that are consistent with the architectural style of your home.
- A.7.2 Select window shutters that are consistent with the architectural style of your home. Plastic shutters and door shutters are not historically accurate and are not allowed.
- A.7.3 Attach mailboxes to the front of the porch or house.
- A.7.4 Install engineering systems and their associated elements such as, but not limited to, air conditioning and heating units, package units, flues, conduits, cables, electrical boxes, ventilators, and louvers, on the side or rear façade of the structure.
- A.7.5 Install utility meters on the side or rear façade of the house, or underground in a subterranean vault.
- A.7.6 Install systems requiring exterior components, such as solar panels or devices, where they will have minimal impact, preferably at the rear of your house or yard or on an outbuilding. Install exterior components on a historic building in a manner that does not damage the historic roofing material or negatively impact the building's historic character and is reversible. These considerations will be made on case-by-case basis.
- A.7.7 Installation of radio or television antennas, including satellite dishes and similar devices, not visible from abutting streets, as determined by staff, is exempt from HP Permit review.



2010

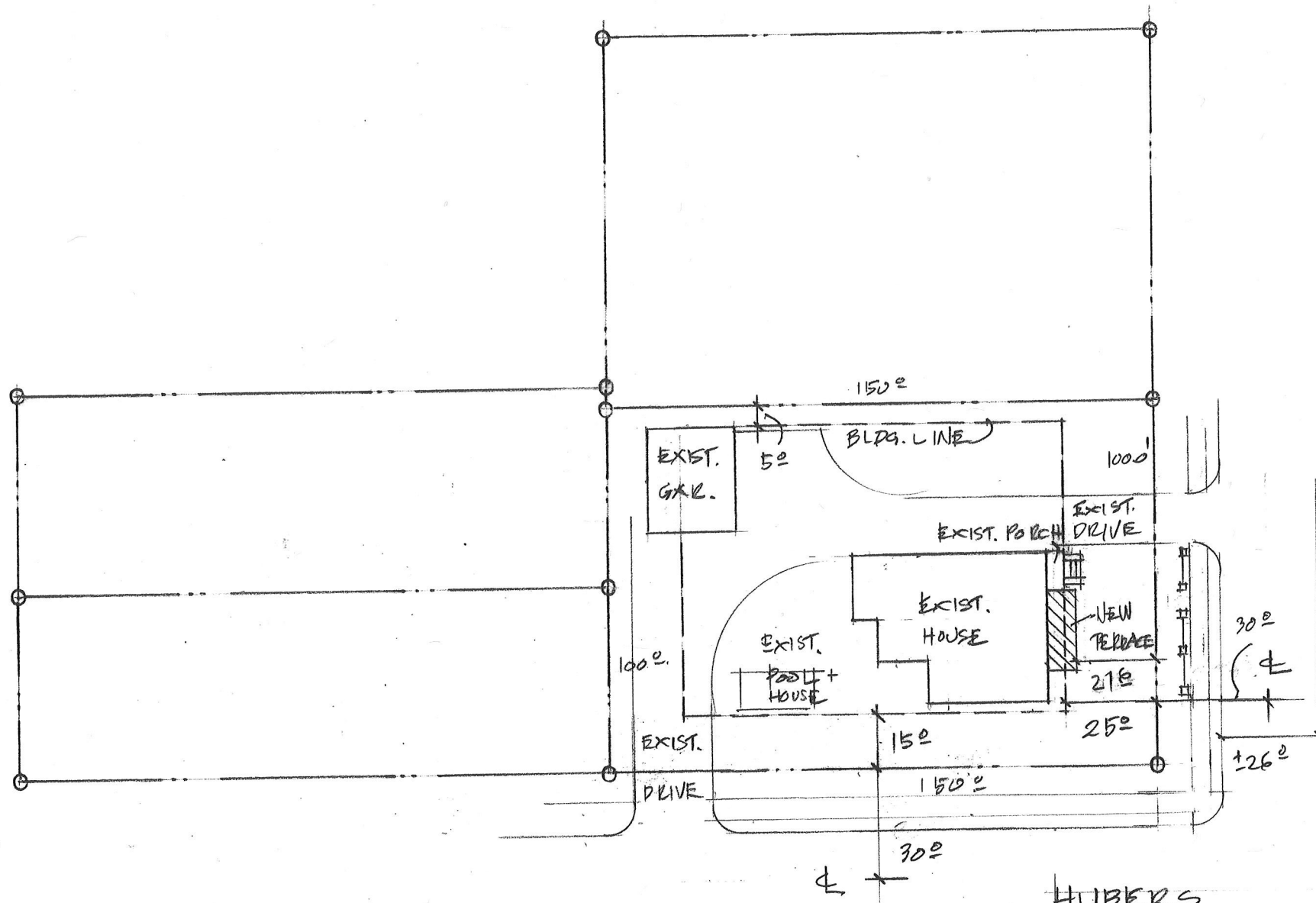


2016



2024

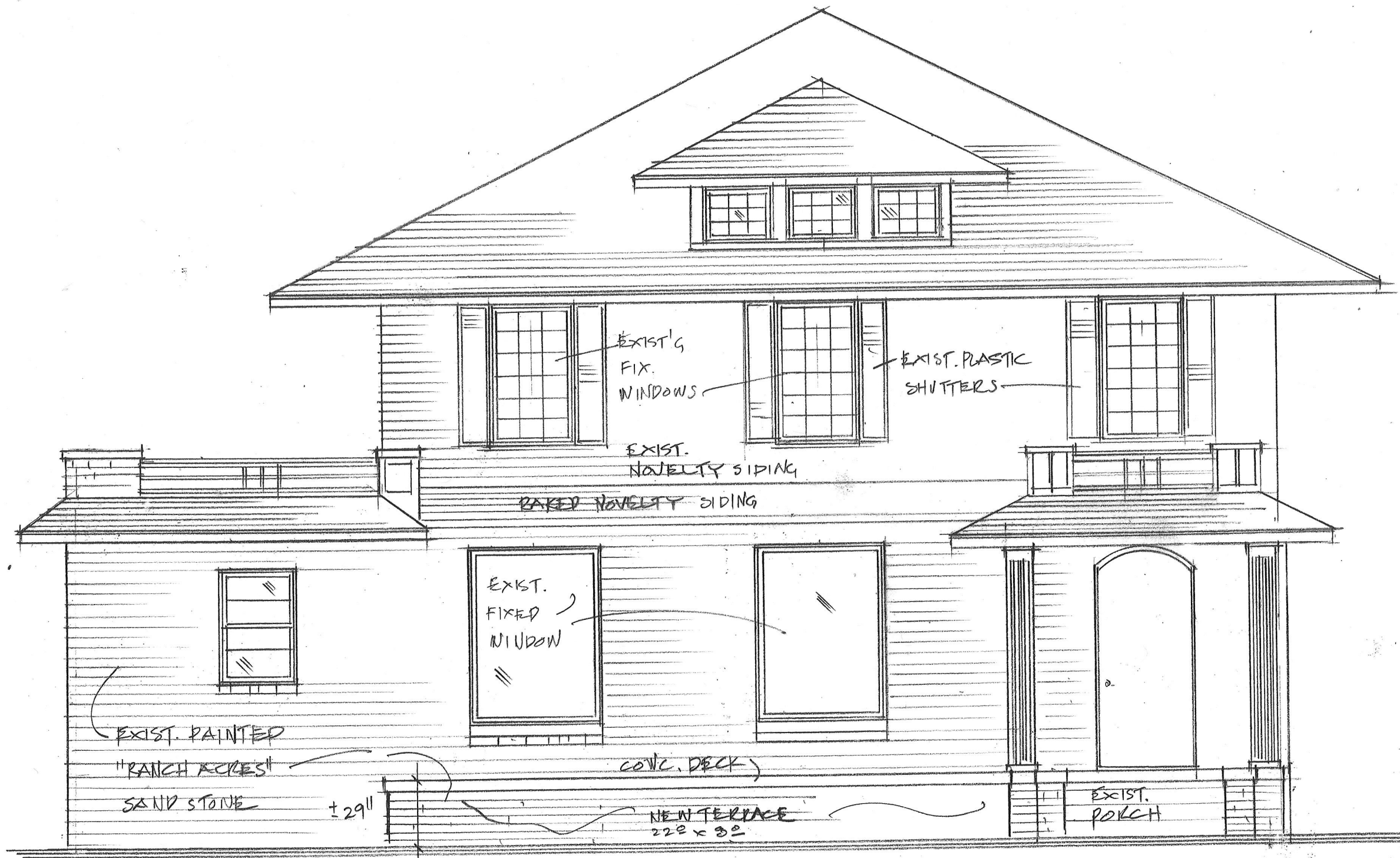




SITE DRAINAGE PLAN 1" = 40' ↑ NORTH

HUBERS
 1624 SO. OWASSO
 TULSA - OKLA 10-2024

TOM NEAL
 DESIGN
 Associate member, American Institute of Architects
 918.231.7372



HUBER
 1624 SO. OKASSO
 TULSA-OKLA 10.2024

EAST ELEV. 1/4" = 1'-0"

TOM NEAL
 DESIGN
 Associate member, American Institute of Architects
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TULSA PRESERVATION COMMISSION

HISTORIC PRESERVATION PERMIT SUBCOMMITTEE STAFF REPORT

December 05, 2024

HP-0640-2024

HP PERMIT NUMBER: HP-0640-2024

PROPERTY ADDRESS: 735 North Cheyenne Avenue

DISTRICT: BRADY HEIGHTS / THE HEIGHTS

APPLICANT: Dustin Harris

REPRESENTATIVE: N/A

A. CASE ITEMS FOR CONSIDERATION

1. Replacement of front door

B. BACKGROUND

DATE OF CONSTRUCTION: 1917

ZONED HISTORIC PRESERVATION: 1999

NATIONAL REGISTER LISTING: BRADY HEIGHTS HISTORIC DISTRICT, 1980

CONTRIBUTING STRUCTURE: Yes

STYLE/CONSTRUCTION: NR Description:

PREVIOUS ACTIONS:

HP-0571-2024 – March 28, 2024 – Staff Approval

1. Repair and replacement in-kind of stucco
2. Repair and replacement in-kind of wood window trim

HP-0641-2024 – November 21, 2024 – Staff Approval

1. Repair and replacement in-kind of siding

B. ISSUES AND CONSIDERATIONS

1. The applicant proposes the replacement of the front door. During a staff visit in March of 2024, the front door was boarded up.

Option #1- 36" x 80" Medium Oak door with $\frac{3}{4}$ lite decorative fiberglass

Option #2- 36" x 79" Unfinished 3 lite triple pane decorative glass mahogany wood door

Option #3- Wood door with $\frac{1}{4}$ decorative lite

2. Reference: *Tulsa Zoning Code*

SECTION 70.070-F Standards and Review Criteria

In its review of HP permit applications, the preservation commission must use the adopted design guidelines to evaluate the proposed work and must, to the greatest extent possible, strive to affect a fair balance between the purposes and intent of HP district regulations and the desires and need of the property owner. In addition, the preservation commission must consider the following specific factors:

1. The degree to which the proposed work is consistent with the applicable design guidelines;
2. The degree to which the proposed work would destroy or alter all or part of the historic resource;
3. The degree to which the proposed work would serve to isolate the historic resource from its surroundings, or introduce visual elements that are out of character with the

- historic resource and its setting, or that would adversely affect the physical integrity of the resource;
4. The degree to which the proposed work is compatible with the significant characteristics of the historic resource; and
 5. The purposes and intent of the HP district regulations and this zoning code.
3. Reference: *Unified Design Guidelines – Residential Structures*

SECTION A – GUIDELINES FOR REHABILITATION OF EXISTING STRUCTURES

A.1 General Requirements

- A.1.1 Retain and preserve the existing historic architectural elements of your home.
- A.1.2 If replacement of historic architectural elements is necessary, match the size, shape, pattern, texture, and directional orientation of the original historic elements.
- A.1.3 Ensure that work is consistent with the architectural style and period details of your home.
- A.1.4 Return the structure to its original historic appearance using physical or pictorial evidence, rather than conjectural designs.

A.3 Doors and Door Surrounds

- A.3.1 Retain and preserve original historic doors and door surrounds, including frames, glazing, panels, sidelights, fanlights, and transoms.
- A.3.2 Do not remove, cover, or move existing door, sidelight, fanlight, and transom openings.
- A.3.3 To return the home to its original historic appearance, remove non-historic doors and replace them using physical or pictorial evidence of the originals. If no evidence exists, select doors and surrounds which are consistent with the architectural style of your home.
- A.3.4 To gain thermal efficiency, storm doors which maintain the appearance and allow maximum visibility of the original historic doors may be installed. Unfinished or clear-finished metals are not allowed. (Storm doors can be staff approved.)
- A.3.5 If replacement of deteriorated doors is necessary, select doors and surrounds which are consistent with the architectural style of your home.
- A.3.6 If replacement of deteriorated trim is necessary, match the appearance, size, shape, pattern, texture, and detailing of the original historic trim.
- A.3.7 When adding new door openings, maintain the proportions of the façade. Match the dimensions and trim details of other doors and surrounds on your home. Select doors and surrounds which are consistent with the architectural style of your home.
- A.3.8 Use clear glass in new or replacement doors and sidelights.
- A.3.9 Exterior security bars and grilles are discouraged.



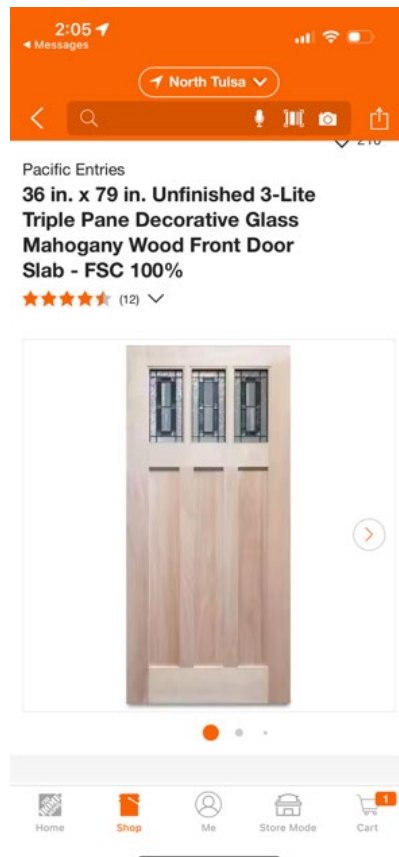
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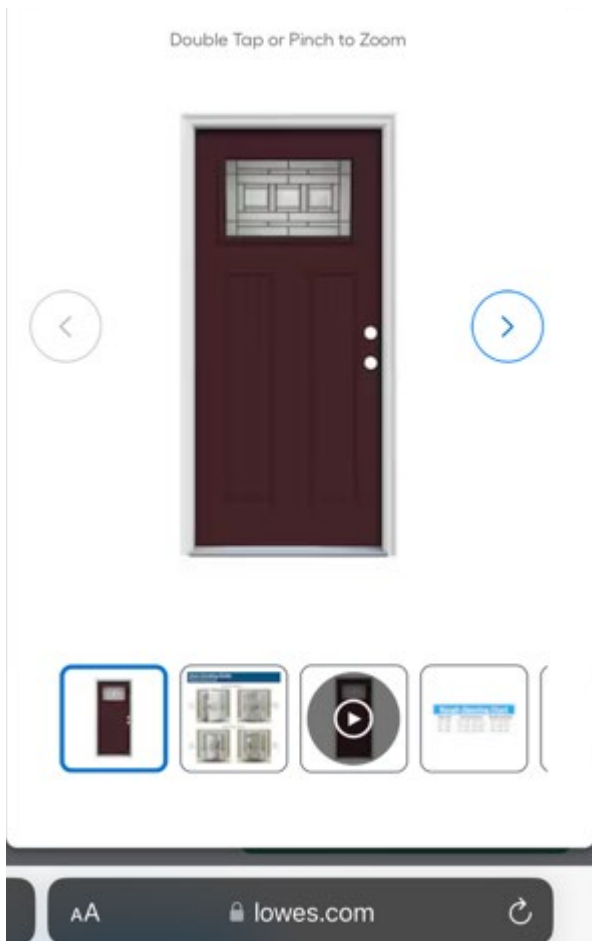
March 2024



Door option #1



Door option #2



Door option #3